

PUBLIC MEETING AGENDA

TOWN OF WOODSTOCK, VERMONT
31 The Green
Woodstock, VT 05091
(802) 457-7515

TOWN DEVELOPMENT REVIEW BOARD
Tuesday March 24, 2026, at 6:30 PM

I. CALL TO ORDER: 6:30 PM

II. ADJUSTMENTS TO AGENDA

III. PUBLIC HEARINGS:

A. T-0046-26: Julie Levin

Location: 470 Noah Wood Road

Parcel ID: 11.01.25

Review Type: Conditional Use

Proposal: To request a 50% waiver to setback to build a two-story addition of approximately 1,392.6 SF, install new insulation, and renovate the interior of the existing structure.

B. T-0047-26: Ana Cristina Arumi

Location: 5274 West Woodstock Road

Parcel ID: 06.01.10.002

Review Type: Conditional Use

Proposal: To convert existing structure to an Inn Annex.

C. T-0048-26: Matthew Paul

Location: 0 Carlton Hill Road

Parcel ID: 31.03.27

Review Type: Conditional Use

Proposal: To construct a 2,464 SF single family home, and a detached 624 SF garage/barn.

IV. APPROVAL OF MINUTES

A. 2/24/2026

V. DELIBERATIONS

VI. OTHER BUSINESS

VII. ADJOURNMENT

This Meeting will be held in person at Town Hall, 31 The Green and via Zoom. Click the link below to join:

<https://us02web.zoom.us/j/88648851165?pwd=SzJPWHJDTINDK2ZVNXBvdVArdytodz09>

Meeting ID: 886 4885 1165

Passcode: 345452

Woodstock Planning & Zoning Application

All applicants must be the owner, the owner's attorney, or authorized agent of property described herein. A person holding a binding agreement to purchase property may sign application by providing written proof of such agreement. If an agent or attorney will represent or speak on owner's behalf, owner must complete the agent portion of this application.

Applicant: Julie Levin Phone: 617-901-0649 Email: julie@julielevincoaching.com
Address: 470 North Wood Rd City/Town: S Woodstock State: VT Zip Code: 05071
Co-Applicant: Marc Daigle Phone: 617-594-6032 Email: m.daigle@dakotapartners.net
Address: same City/Town: _____ State: _____ Zip Code: _____
Signature(s): Julie R. Levin

*What is the best way to contact you? Phone or Email _____
*What address would you like your Notice of Hearing/Permit mailed to? 55 Prescott St. Newton MA 02460

Agent Authorization

(a representative speaking on behalf of the owner/applicant)

I, _____ owner of property located at _____ Woodstock, Vermont, hereby designate as my agent.

Name of Agent: _____ Phone: _____ Email: _____

Address: _____ City/Town: _____ State: _____ Zip Code: _____

Agent may be accepted as though made by me personally, and I understand that I may be bound by an official decision made based upon such representation

Signature: _____

Parcel ID Number(s): 11.01.25 Address: 470 North Wood Road Zoning District: RS Overlay District: NIA

Proposal of project: Home addition of living room; insulation of existing home. Updates to existing & Waiver to setback

----- Planning & Zoning Office Only -----

Village Design Review Hearing Date: _____ Village Development Review Hearing Date: _____

Town Development Review Hearing Date: 3/24/2026 South Woodstock Review Hearing Date: _____

Planning Commission Hearing Date: _____ Conservation Commission Hearing Date: _____ Administrative: _____

Date Recvd: 2/13/26 Date Complete: _____ By: MM Application #: T-0046-26

Review Fee: \$375 Itemized Fee: \$3,145 Recording Fee: \$5 Total Fee: \$3,535

Paid: cash _____ check _____ MuniPay: _____ Payment Date: _____

450k

All specifications to be Reviewed by builder For
code compliance.
Any necessary changes to be made by builder.



470 Noah Rd

PHONE:
FAX:
MOBILE:

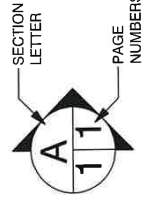
DRAWN BY:

SCALE: As Noted

DATE: Friday, January 30, 2026

PAGE: 1/15

cover



SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

Charles SILVA

106 Midsomer Meadows Ln PHONE: 802-291-2782

Woodstock VT FAX:

MOBILE: 802-291-2782

05091 charlessilvabuilding@gmail.com

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"





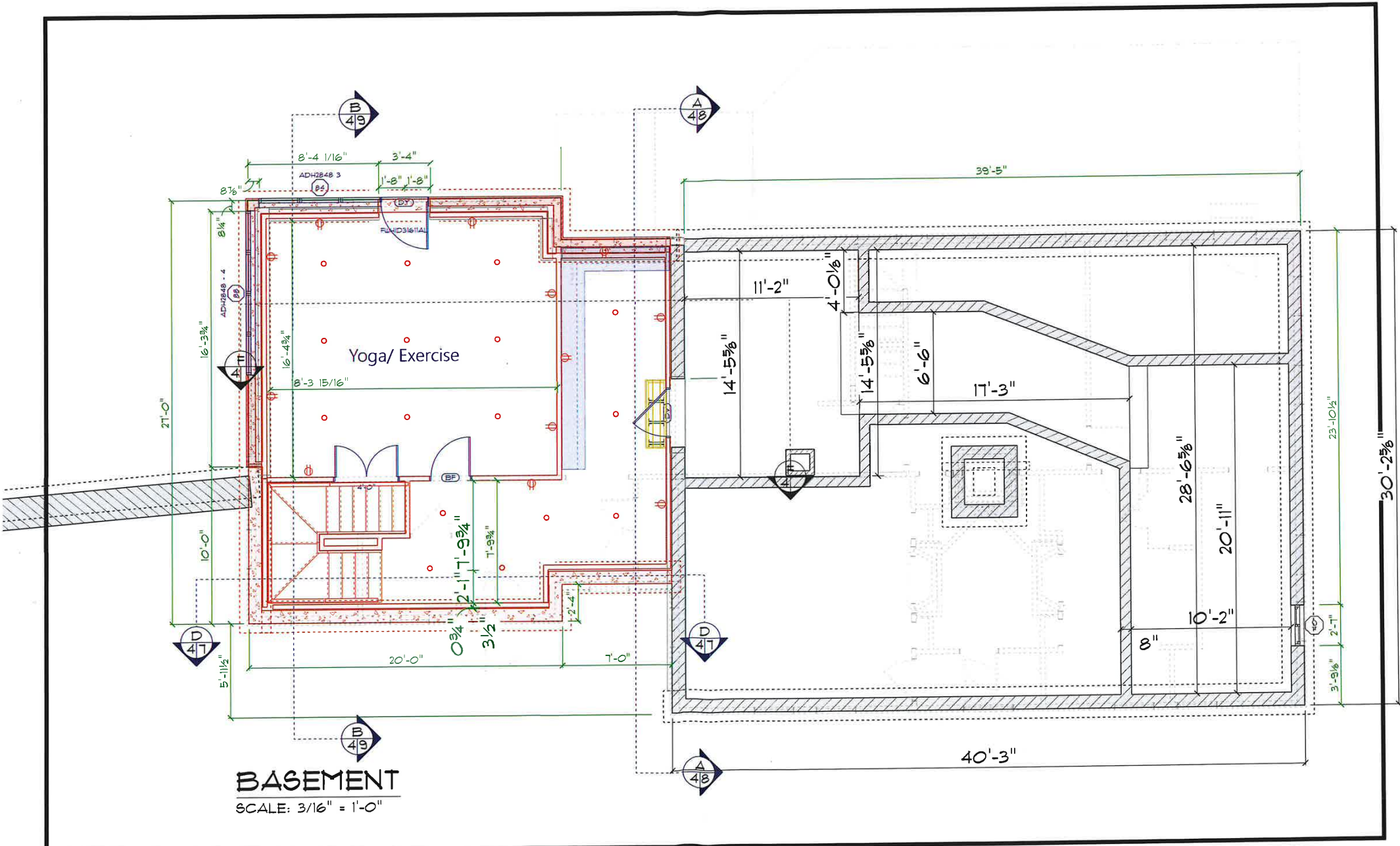
WEST ELEVATION

SCALE: 3/16" = 1'-0"

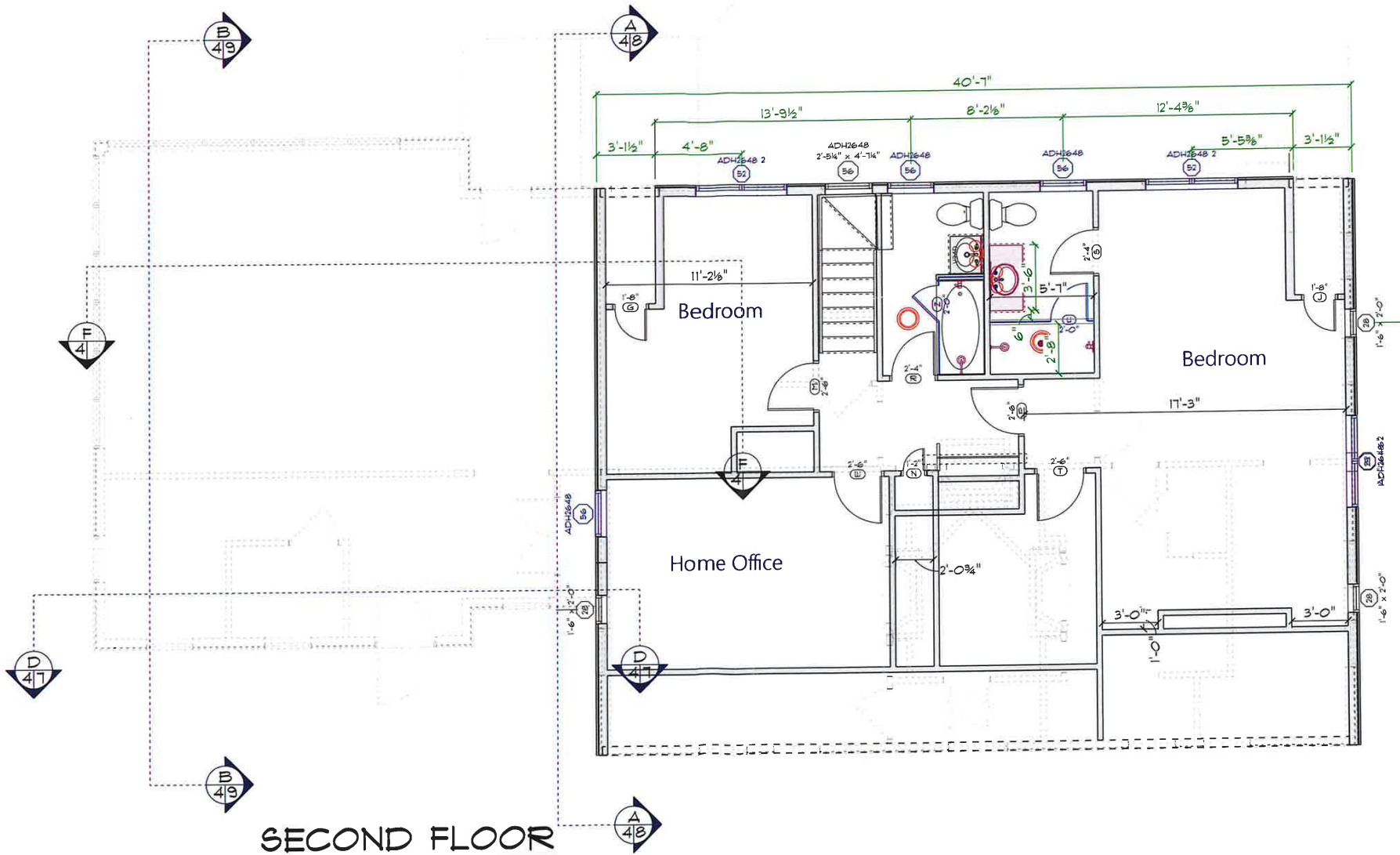


EAST ELEVATION

SCALE: 1/8" = 1'-0"



BASEMENT
 SCALE: 3/16" = 1'-0"



SECOND FLOOR

SCALE: 3/16" = 1'-0"



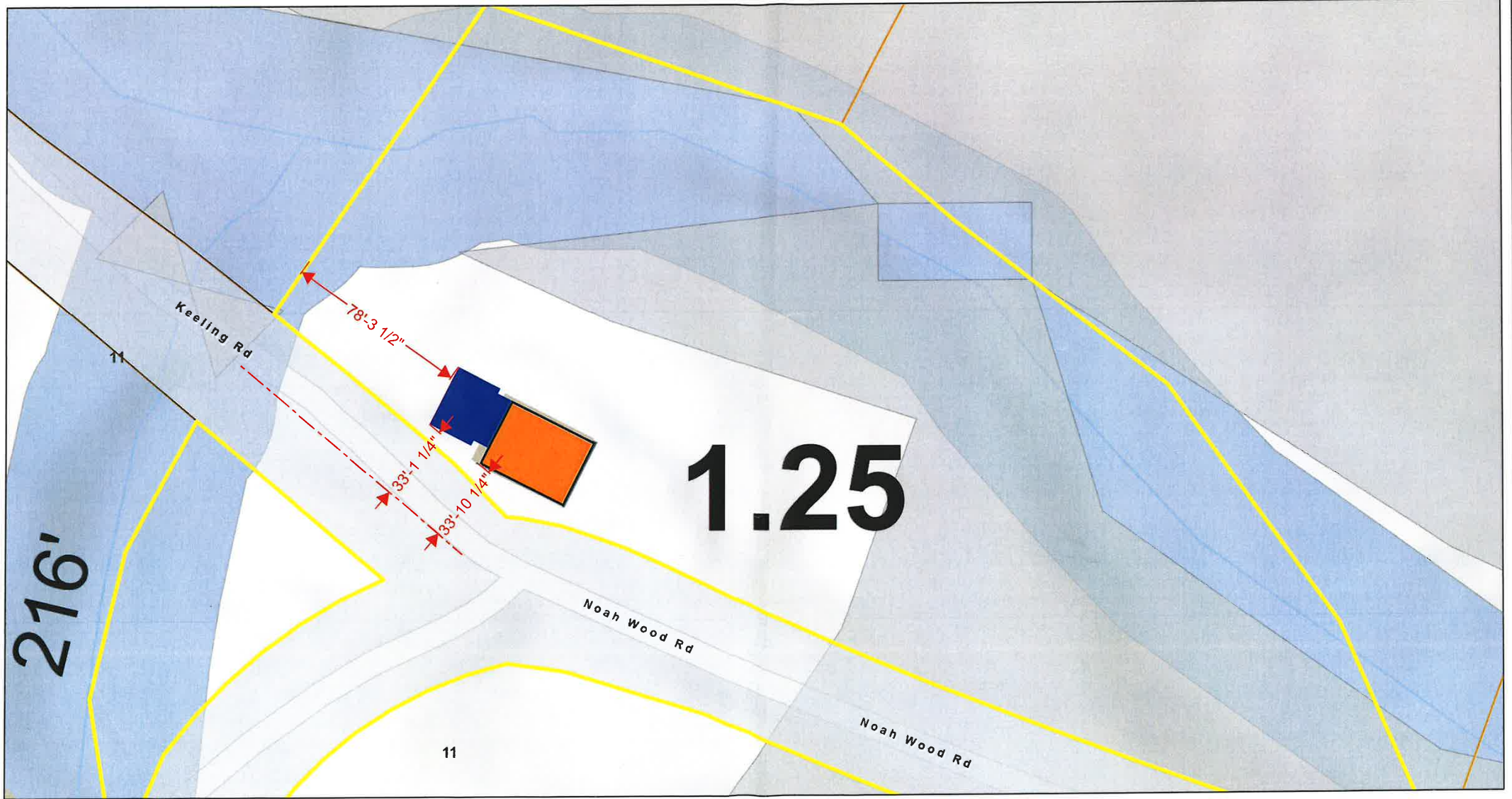
January 28, 2026

Town of Woodstock, VT

1 inch = 40 Feet



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Brad Prescott
899 Noah Wood Road
S. Woodstock, VT
BradPrescottAIA@gmail.com
339-499-8853

March 5, 2026

Town Development Review Board
Community Development & Planning
Town of Woodstock Vermont
Via email: pz@townofwoodstock.org

RE: Proposed Addition to 470 Noah Wood Road, South Woodstock

March 5, 2026

Members of the Board:

I am writing in support of granting a waiver for the addition proposed at 470 Noah Wood Road in South Woodstock. As a former member of this board, it is my opinion that this is the sort of addition we like to see - designed with an eye to historic consistency, and in line and character with the existing house, site and streetscape.

As an architect, I particularly appreciate the scale and positioning of the proposed structure. The design shows clear intention to maintain the historic character of the existing cape cod home. The renovation and addition breathe new life into the building while accommodating for modern living. It achieves these goals while remaining contextual to the neighborhood and this historic architype.

Additionally, and on a personal note, I live just up the road from this project and I look forward to my neighbors' renovation and subsequent transition to full time residence and participating more in our community.

Thank you for your consideration.

Sincerely,

Brad Prescott

Woodstock Planning & Zoning Application

All applicants must be the owner, the owner's attorney, or authorized agent of property described herein. A person holding a binding agreement to purchase property may sign application by providing written proof of such agreement. If an agent or attorney will represent or speak on owner's behalf, owner must complete the agent portion of this application.

Applicant: Ana Cristina Arumi Phone: 802-865-6355 Email: praymond@sheeheyvt.com
Address: 30 Main Street, 6th Floor City/Town: Burlington State: Vermont Zip Code: 05402
Co-Applicant: _____ Phone: _____ Email: _____
Address: _____ City/Town: _____ State: _____ Zip Code: _____
Signature(s): _____

*What is the best way to contact you? Phone or Email email, praymond@sheeheyvt.com
*What address would you like your Notice of Hearing/Permit mailed to? Heather Ingegneri, 5250 West Woodstock Road, Woodstock, Vermont

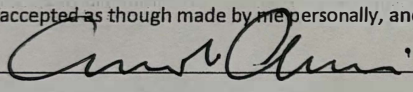
Agent Authorization

(a representative speaking on behalf of the owner/applicant)

I, Ana Cristina Arumi owner of property located at 5274 West Woodstock, Rd Woodstock, Vermont, hereby designate as my agent.

Name of Agent: Heather Ingegneri and Peter Raymond Phone: 802-865-6355 Email: praymond@sheeheyvt.com
Address: 30 Main Street, 6th Floor City/Town: Burlington State: VT Zip Code: 05402

Agent may be accepted as though made by me personally, and I understand that I may be bound by an official decision made based upon such representation

Signature: 

Parcel ID Number(s): 06.01.10.002 Address: 5274 West Woodstock Rd Zoning District: I nn Overlay District: FHA

Proposal of project: _____

See attached

----- Planning & Zoning Office Only -----

Village Design Review Hearing Date: _____ Village Development Review Hearing Date: _____

Town Development Review Hearing Date: _____ South Woodstock Review Hearing Date: _____

Planning Commission Hearing Date: _____ Conservation Commission Hearing Date: _____ Administrative: _____

Date Recvd: _____ Date Complete: _____ By: _____ Application #: _____

Review Fee: _____ Itemized Fee: _____ Recording Fee: _____ Total Fee: _____

Paid: cash _____ check _____ MuniPay: _____ Payment Date: _____

VIA EMAIL
February 19, 2026

Woodstock Planning & Zoning
Attn: Molly Maxham, Town Zoning Administrator
31 The Green
PO Box 488
Woodstock, VT 05091
Via Email: pz@townofwoodstock.org

Application for Conditional Use Approval

Subject Property: 5274 West Woodstock Road, Parcel 06.01.10002.
Owner: Ana Cristina Arumi
Application: Conditional Use Approval for Use of Existing House as Inn Annex.

Dear Molly:

On behalf of Ms. Arumi, owner of 5274 West Woodstock Road, (“Property”), please accept this letter and the enclosed site plan and zoning application form as an application for Conditional Use approval of the existing structure at the Property as an Inn Annex. The permit application fee is being sent to your office separately.

The Property is located in the Inn District. Ms. Arumi currently owns the adjacent parcel at 5250 West Woodstock Road, Parcel Id 06.01.10001 (the “Robinson Farm”) containing the farmhouse and barn that were previously permitted in or around 2007 as an Inn.

Ms. Arumi wishes to use the existing house on the Property, referred to as the Guest House, as an Inn Annex in connection with the existing Inn operations. The primary use of the Guest House will be as a rental for guests participating in weddings or other events at the Robinson Farm.

No new development or substantial improvements are proposed. There are no proposed changes to the existing Guest House or other structures on the Property as part of this application. Parking for the Guest House will be in the existing parking area adjacent to and on the north side of the Guest House, and primary access will continue to be via the existing driveway from West Woodstock Road.

Significant landscape screening (trees and hedge) will be added along the southern property boundary and along the eastern edge of the Property as shown on the enclosed site plan to improve screening with neighboring parcels and from the road.

The application meets the conditional use Criteria set forth in Section 810 of the Woodstock Zoning Regulations for the reasons that follow:

1. **The capacity of existing or planned community facilities.** *There will be no additional adverse impact to existing or planned community facilities from the Project. The Project will not result in any increase demand of the school system or other municipal services as it will be primarily used to house guests on weekends and during events at the Robinson Farm.*

2. **Character of the area affected.** *There will be no adverse impact to the character of the area. The Guest House is an existing structure permitted for residential occupancy adjacent to a previously approved Inn and event venue. The Guest House will be used to house guests during those events (primarily summer and fall weekends) but will not change the nature, capacity or frequency of those events. The number of persons staying at the Guest House is not greater than that permitted to use it as a single-family residence. The significant screening and landscaping proposed will further ensure the character of the area is not adversely impacted.*

3. **Minimum off-street parking and loading facilities.** *There is no change to the existing parking or loading facilities at the Property or the adjacent Robinson Farm parcel. The existing parking area at the Property can accommodate upwards of five cars, which is more than required by Section 522 of the Regulations.*

4. **Bylaws then in effect.** *The proposal is for an Inn Annex, a conditional use in the Inn District and it complies with the current zoning bylaws.*

5. **Utilization of renewable energy resources.** *There is no proposed change to the existing uses of energy resources at the Property and the application is not anticipated to materially increase the energy use at the Property.*

Please let me know should you have any questions or need additional information.

Sincerely,

SHEEHEY FURLONG & BEHM P.C.

/s/ Peter G. Raymond

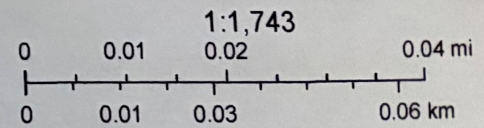
Peter G. Raymond
On behalf of Ms. Arumi

PGR/cjm
Enclosures



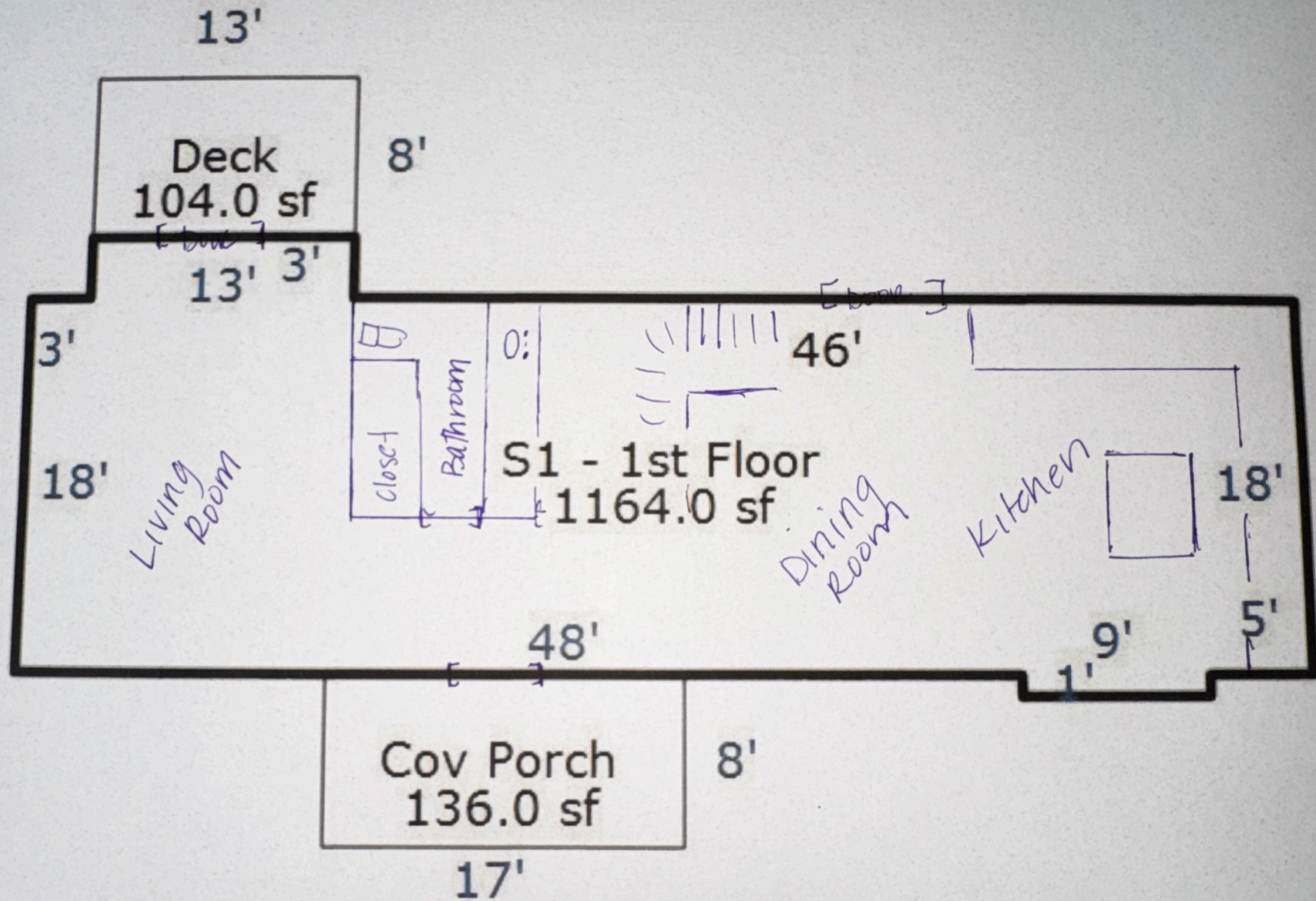
2/11/2026, 3:23:20 PM

- PARKING
- DRIVEWAY
- 2 ROWS OF TREES
- HEDGE
- SPLIT RAIL FENCE



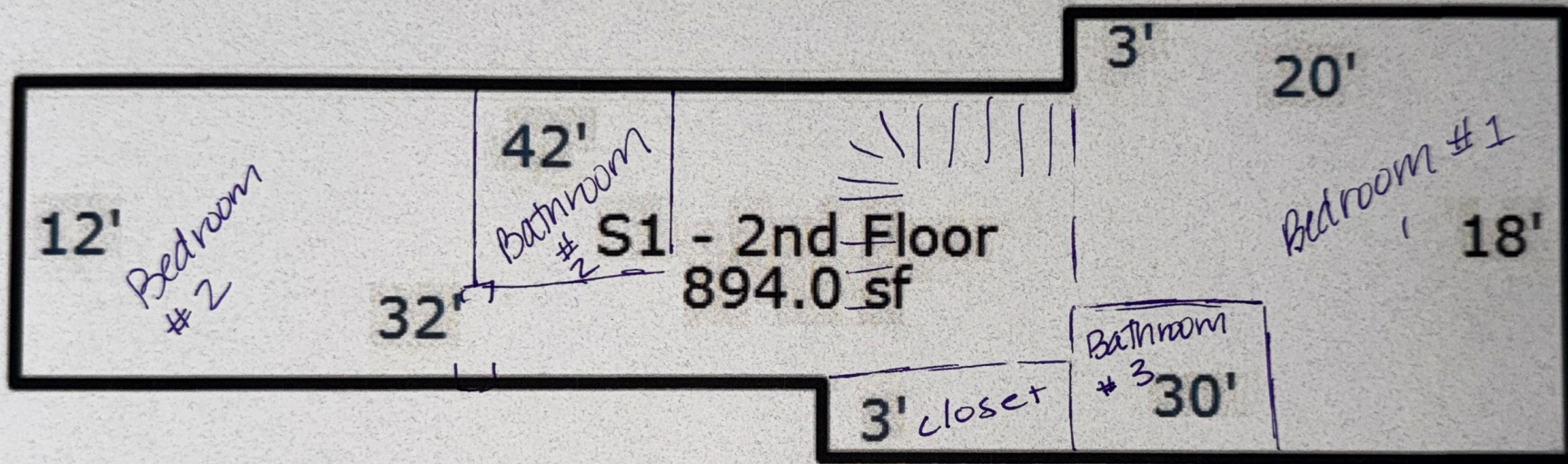
VCGI, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, OpenStreetMap contributors, and the GIS User Community

Floorplan Sketch



5274 West. Woodstock Road

Floorplan Sketch



5274 West. Woodstock Road

Woodstock Planning & Zoning Application

All applicants must be the owner, the owner's attorney, or authorized agent of property described herein. A person holding a binding agreement to purchase property may sign application by providing written proof of such agreement. If an agent or attorney will represent or speak on owner's behalf, owner must complete the agent portion of this application.

Applicant: Matthew Paul Phone: 7817183204 Email: matthewcpaul0@gmail.com

Address: 68 Chestnut St, Apt 5 City/Town: Boston State: MA Zip Code: 02108

Co-Applicant: Katherine Kelly Phone: +1 (917) 776-7934 Email: katagkelly@gmail.com

Address: 63 Pine Street City/Town: Cold Spring State: NY Zip Code: 10516

Signature(s): *Matthew Culliton Paul* dotloop verified 03/06/26 2:51 PM EST NRCR-KZHI-NSP8-CWEB *Katherine A. Kelly* dotloop verified 03/06/26 12:19 PM EST SEV99-9983TMO-41K

*What is the best way to contact you? Phone or Email Phone

*What address would you like your Notice of Hearing/Permit mailed to? 68 Chestnut St Apt 5, Boston MA 02108

Agent Authorization

(a representative speaking on behalf of the owner/applicant)

I, _____ owner of property located at _____ Woodstock, Vermont, hereby designate as my agent.

Name of Agent: _____ Phone: _____ Email: _____

Address: _____ City/Town: _____ State: _____ Zip Code: _____

Agent may be accepted as though made by me personally, and I understand that I may be bound by an official decision made based upon such representation

Signature: _____

Parcel ID Number(s): 31.03.27. Address: 00 Carlton Hill Rd Zoning District: Residential 5-a Overlay District: CC

Proposal of project: Construction of a 2,464 sqft single family home, and detached 480 sqft garage/barn.



----- Planning & Zoning Office Only -----

Village Design Review Hearing Date: _____ Village Development Review Hearing Date: _____

Town Development Review Hearing Date: 3/24/2026 South Woodstock Review Hearing Date: _____

Planning Commission Hearing Date: _____ Conservation Commission Hearing Date: 3/15/2026 Administrative: _____

Date Recvd: 3/6/2026 Date Complete: _____ By: MM Application #: T-0048-26

Review Fee: \$100 Itemized Fee: \$1,790 Recording Fee: \$15 Total Fee: \$2,205

Paid: cash _____ check _____ MuniPay: Payment Date: 3/6/2026

CONDITIONAL USE
SUPPORT STATEMENT

If your answers require additional space,
you may respond on separate sheet(s), following this format.

(not commercial)

1. **Applicant** Matthew Paul **Owner** (if different) _____

2. **Date** 03/05/2026 **Parcel ID** **Map** _____ **Block** _____ **Lot** _____
31.03.27

3. **Nature of your request:**
Wetland Impact

4. **Zoning District** Residential 5-Acre
Minimum Setbacks: **Front:** 60 **Side** 25 **Rear** 25 **Min. Lot Size** 5 **Min. Frontage** _____

Do your plans conform to these requirements? _____ If not, please explain:

_____ The lot is also considered an existing small lot as it is 3.54 acres in a Residential 5-acre zone, meaning the lot is smaller than the required minimum lot area, but it can still be developed as it was created before the zoning regulations went into effect.

5. **Describe the location and the proposed project, including type & extent of development and any other description/explanation.**

_____ Building a 12-15 foot driveway that travels from the road to the site for about 115' total through the ~50' wetland buffer

_____ and ~ 30' through the outside border of the wetland itself.

_____ There will also be a portion of the home that falls within the 100 ft wetland boundary, reaching no more than 70' from the

_____ wetland, there will be no basement build within the 100 ft wetland buffer, and we will work with engineers to create a

_____ foundation system in the wetland buffer that minimizes impact.

CARLTON HILL ROAD

SITE PLAN
1" = 20'



WETLAND
BOUNDARY

GARAGE

SEPTIC
FIELD

SEPTIC

WELL

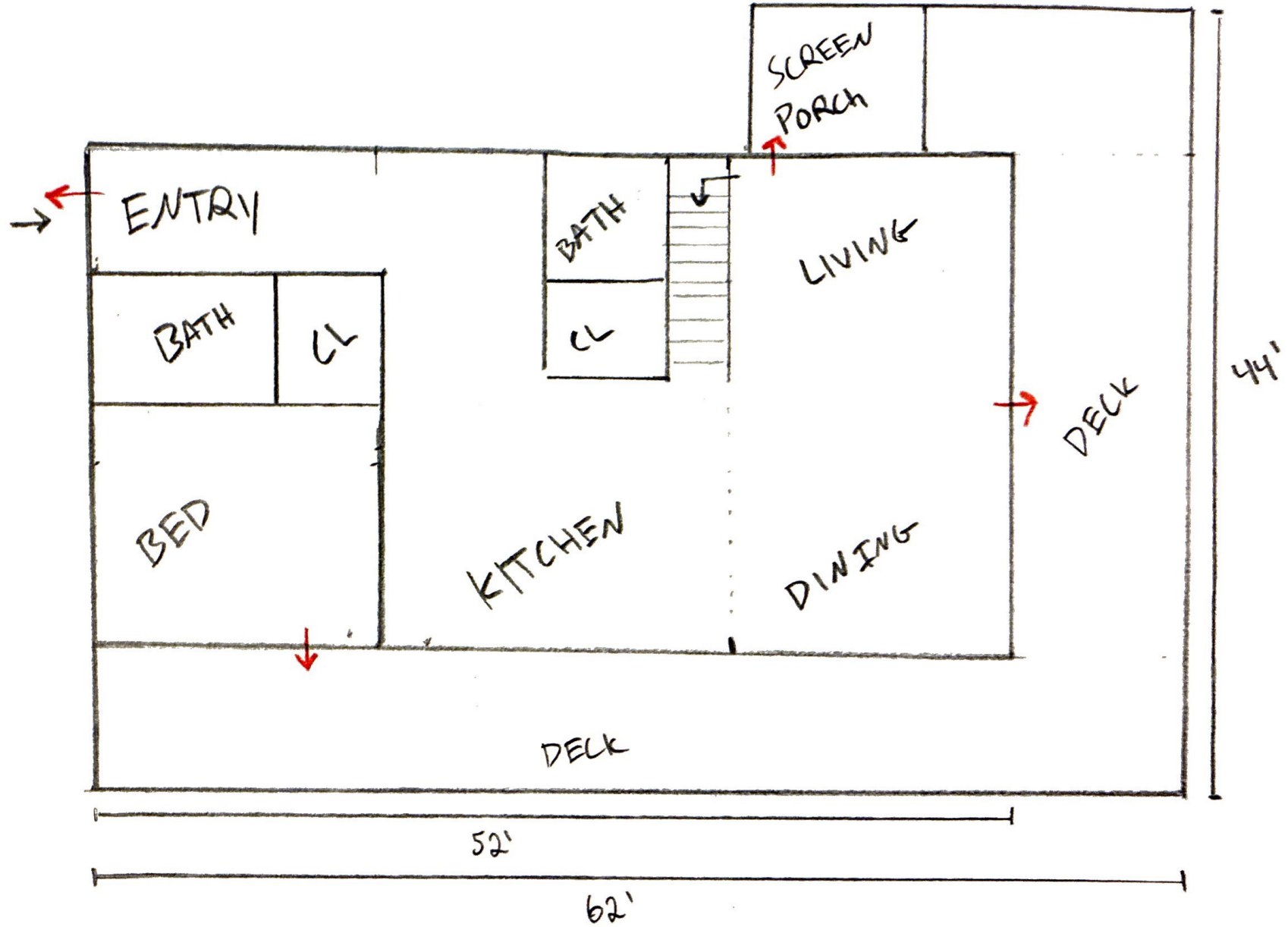
50'

100'

LEVEL 1

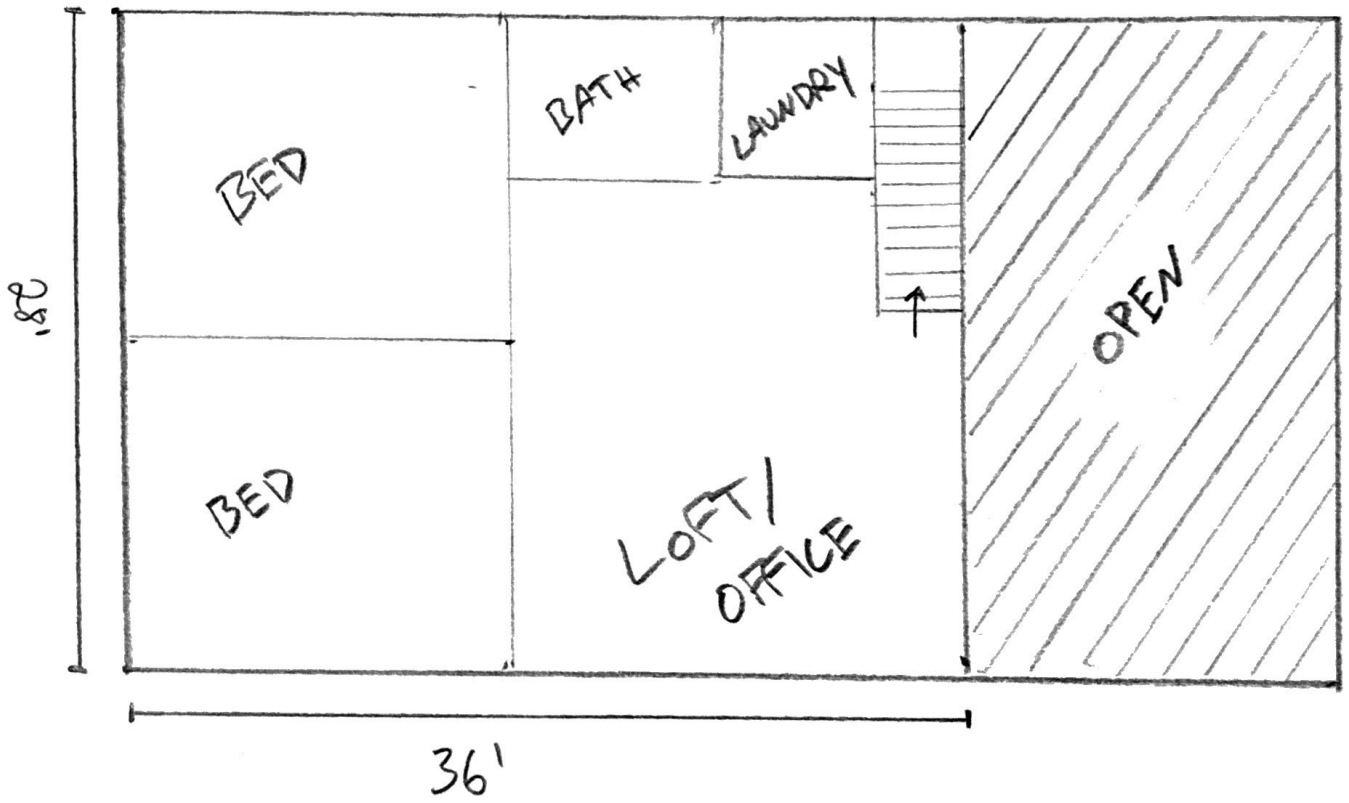
1" = 8'

↓ EGRESS



LEVEL 2

1" = 8'



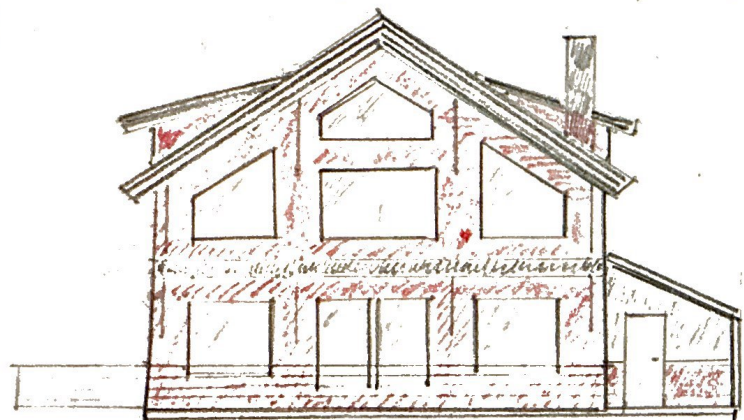
WEST

1" = 8'



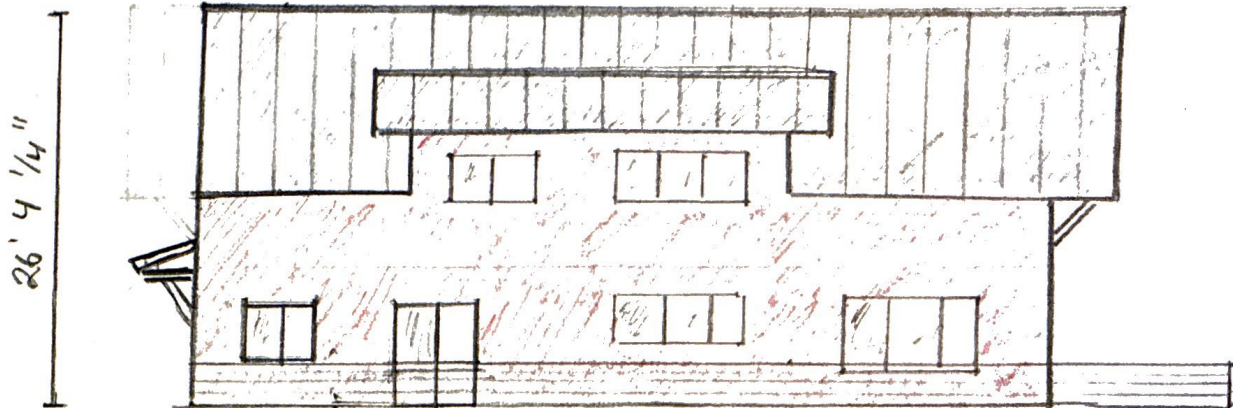
28'

EAST



36'

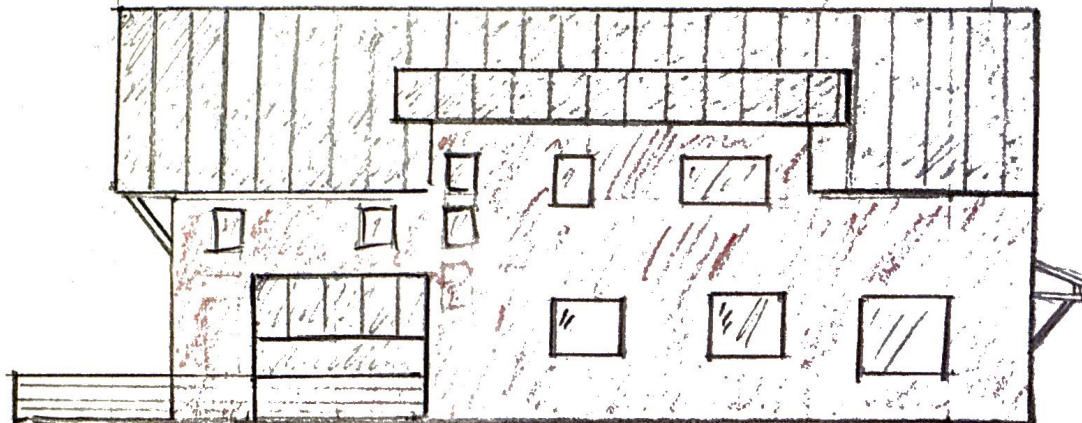
SOUTH



26' 4 1/4"

52'

NORTH



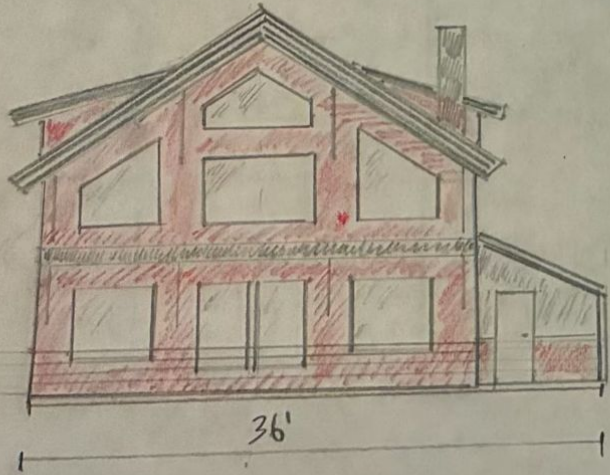
62'

WEST

1" = 8'

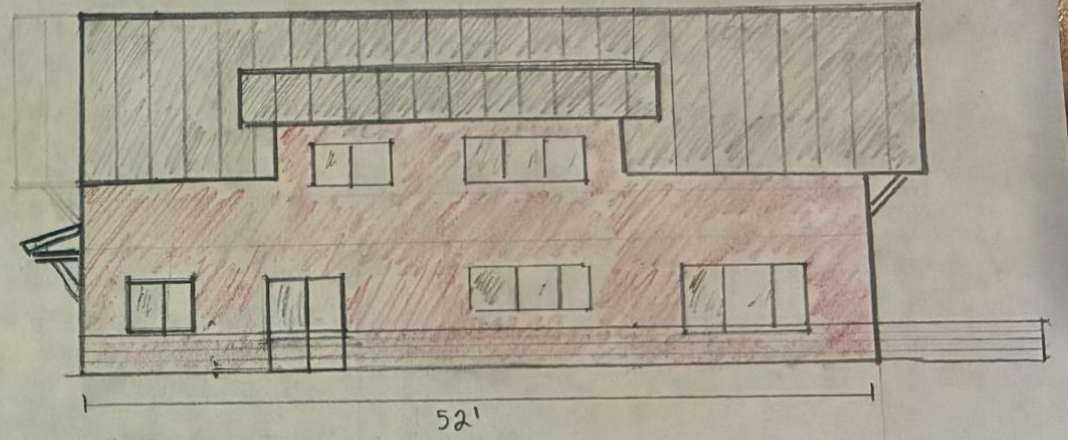


EAST

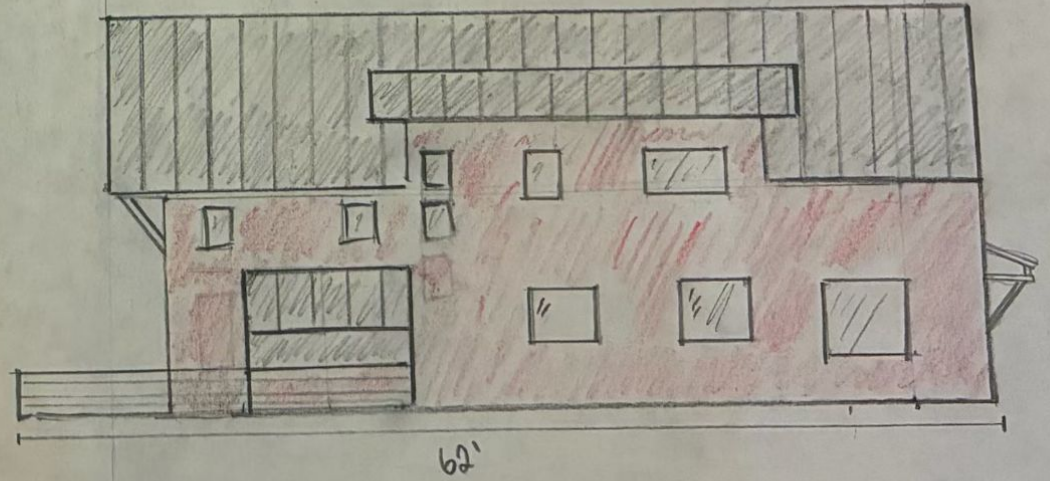


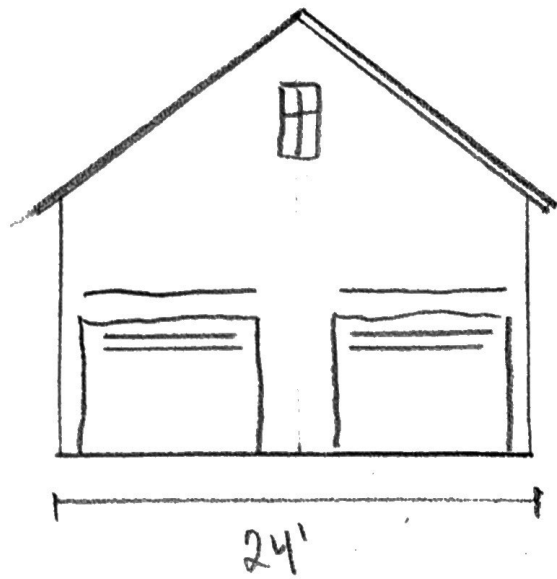
SOUTH

26' 4 1/4"

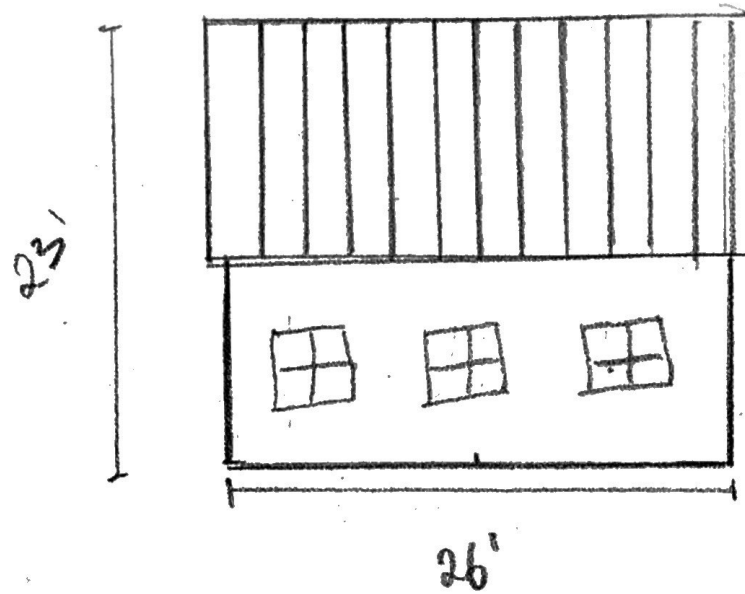


NORTH





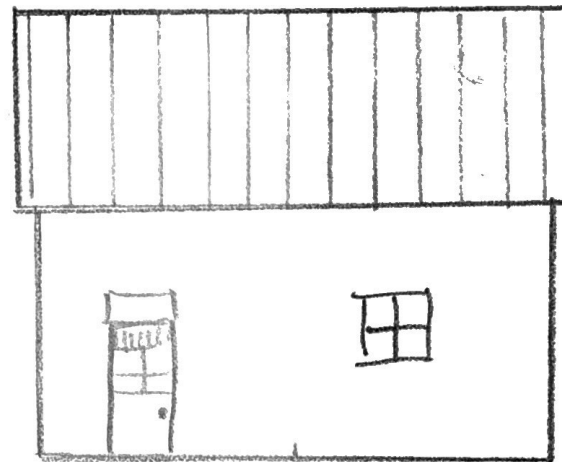
EAST



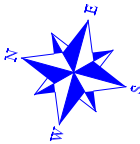
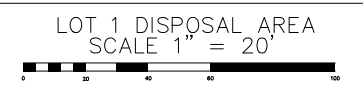
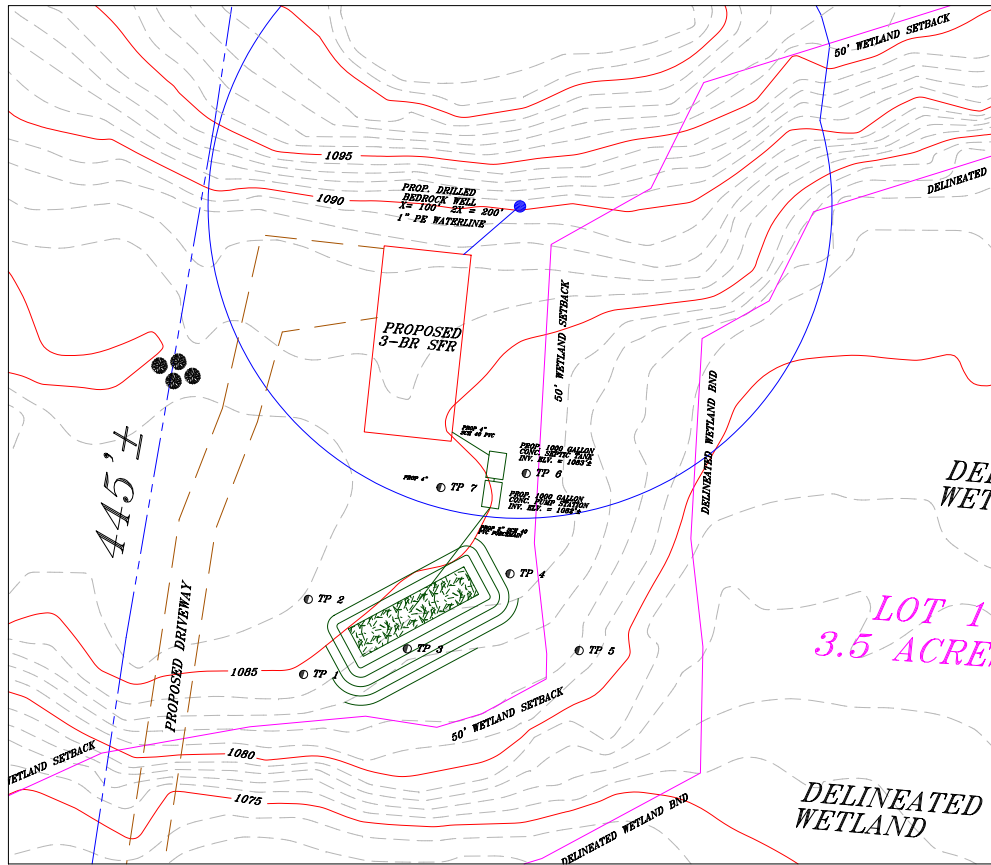
NORTH



WEST



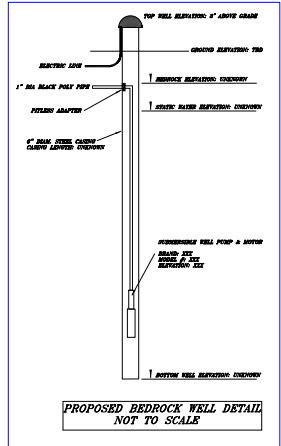
SOUTH



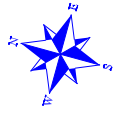
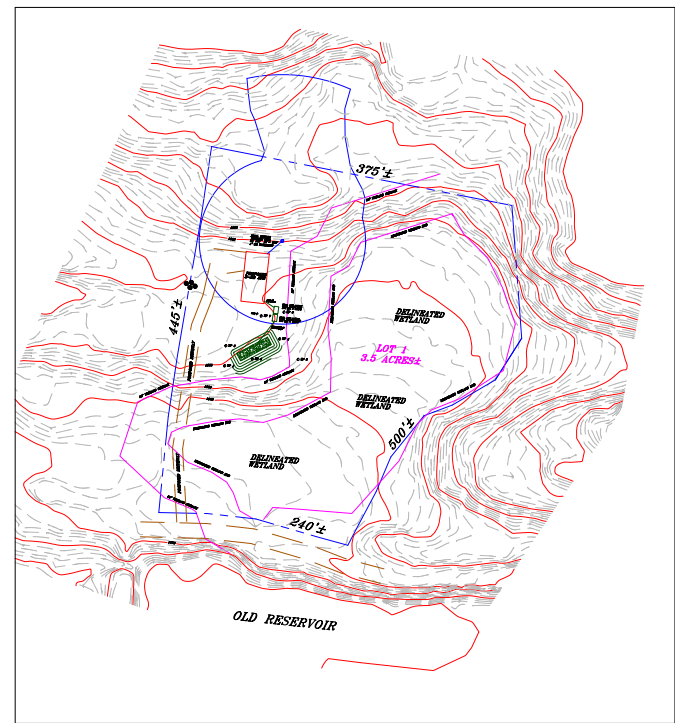
SITE DATA LOT #1	
SOIL TEST RESULTS	
TEST PIT #1-7	DEPTH TO SUBST. SOIL TO 24" NO. LUGS TO 30" PROBES BY TERRY SHEARER
TEST PIT #1	DEPTH TO S.H.W.T. 32" MOTTLES
TEST PIT #3	DEPTH TO S.H.W.T. 30" MOTTLES
TEST PIT #6	DEPTH TO S.H.W.T. 33" MOTTLES
MIN DEPTH TO S.H.W.T. 30"	

REPLACEMENT DISPOSAL FIELD DESIGN MOUND

ONE BEDROOM = 140 GAL/DAY
 3 BEDROOM HOUSE = 420 GAL/DAY
 DESIGN FLOW = 420 GAL/DAY
 MOUND LOADING RATE = 1.0
 420 GAL/DAY/1.0 GAL/SQ.FT./DAY = 420 FT²
REPLACEMENT DISPOSAL MOUND
 10' X 42' MOUND = 420FT²



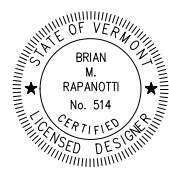
- water testing NOTES:**
- WATER SERVICE LINES AND WATER SERVICE PIPES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED ACCORDING TO ONE OF THE FOLLOWING PROCEDURES PRIOR TO PLACING THE POTABLE WATER SUPPLY INTO SERVICE:
 - VERMONT PLUMBING RULES;
 - PER A.P.C. OR
 - BY PRESSURIZING THE LINES AND PIPES WITH WATER AT THE WORKING PRESSURE OF THE SYSTEM OF CHARGE AND HOLD WITHOUT DROP IN PRESSURE FOR A MINIMUM OF 15 MINUTES.
 - DESCRIPTION OF WATER SERVICE LINES AND WATER SERVICE PIPES SHALL BE COMPLETED PURSUANT TO THE REQUIREMENTS OF THE VERMONT PLUMBING RULES OR THE FOLLOWING METHOD:
 - FILL THE WATER SERVICE LINE OR WATER SERVICE PIPE WITH A WATER/CEMENT SOLUTION OF 100 MG/L AND
 - ALLOW THE CHLORINATED WATER TO REST IN THE WATER SERVICE LINE OR WATER SERVICE PIPE FOR A MINIMUM OF 24 HOURS BEFORE DISPOSING OF THE CHLORINATED WATER.



GENERAL NOTES:

- THIS PLAN IS FOR REGULATORY APPROVAL ONLY. IT IS NOT A SURVEY.
- OWNER AND OR CONTRACTOR WILL NOTIFY ENGINEER 72 HOURS BEFORE BEGINNING CONSTRUCTION ON SEPTIC SYSTEM OR WATER SUPPLY.
- SEPTIC AND WATER SUPPLY MUST BE INSTALLED AS SPECIFIED AND IN THE LOCATION AS INDICATED ON THIS PLAN.
- ALL EQUIPMENT MUST BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. NO CHANGES OR SUBSTITUTIONS MAY BE PLAN WITHOUT CONSULTANT APPROVAL.
- THIS PLAN IS FOR THE FOLLOWING:
 LOT #1 PROPOSED 3 BEDROOM HOUSE DESIGN FLOW = 420 G.P.D.

SHEET 1 OF 2



"I hereby certify that the design-related information submitted with this application is true and correct, and that, in the exercise of my reasonable professional judgement, the design included in this application for a permit complies with the Vermont Waterwater System and Potable Water Supply Rules and the Vermont Water Supply Rules."

RAPANOTTI SEPTIC DESIGN		
OVERALL SITEPLAN		
Paul		
Woodstock Vermont		
DATE	SCALE	PROJECT NO.
Jan 29, 2026	AS NOTED	26-1337
BRIAN RAPANOTTI		
VERMONT LICENSED DESIGNER TYPE B #514		
PO BOX 11, SPRINGFIELD, VT 05156		
TEL. # 802-289-9917		



DOCUMENTS FOR RECORDING

State of Vermont
Department of Environmental Conservation

Agency of Natural Resources
Drinking Water and Groundwater Protection Division

WASTEWATER SYSTEM AND POTABLE WATER SUPPLY PERMIT

LAWS/REGULATIONS INVOLVED

10 V.S.A. Chapter 64, Potable Water Supply and Wastewater System Permit
Wastewater System and Potable Water Supply Rules, Effective November 6, 2023

Permittee(s): Katherine Kelly
63 Pine Street
Cold Spring, NY 10516

Permit Number: WW-3-3961

This permit affects the following property/properties in Woodstock, Vermont:

Table with 5 columns: Lot, Parcel, SPAN, Acres, Book(s)/Page(s)#. Row 1: 1, 31.03.27.00, 786-250-10437, 3.50, Book:286 Page(s):719

This application consisting of the construction of a three-bedroom single family residential living unit, located on Carlton Hill Road in Woodstock, Vermont, is hereby approved under the requirements of the regulations named above subject to the following conditions. Any person aggrieved by this permit may appeal to the Environmental Court within 30 days of the date of issuance of this permit in accordance with 10 V.S.A. Chapter 220 and the Vermont Rules of Environmental Court Proceedings.

1. GENERAL

- 1.1. The permittee is responsible for recording this permit in the Woodstock Land Records within 30 days of issuance of this permit and prior to the conveyance of any lot subject to the jurisdiction of this permit.
1.2. The permittee is responsible for recording the design and installation certifications and other documents that are required to be filed under these Rules or under a permit condition in the Woodstock Land Records.
1.3. Each assign or successor in interest shall be shown a copy of the Wastewater System and Potable Water Supply Permit and the stamped plan(s) prior to the conveyance of a lot.
1.4. By acceptance of this permit, the permittee agrees to allow representatives of the State of Vermont access to the property covered by the permit, at reasonable times, for the purpose of ascertaining compliance with the Vermont environmental and health statutes and regulations, and permit conditions.
1.5. The Drinking Water and Groundwater Protection Division relied upon the Vermont Licensed Designer's certification that the design-related information submitted is true and correct and complies with the Wastewater System and Potable Water Supply Rules. This permit may be revoked if it is determined the design of the wastewater system or potable water supply does not comply with these rules.
1.6. This permit does not relieve the landowner from obtaining all other approvals and permits from other State Agencies, Departments, Divisions, and/or local officials prior to construction.



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Wastewater System and Potable Water Supply Permit
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2. CONSTRUCTION

2.1. Construction shall be completed as shown on the plans and/or documents prepared by Brian Rapanotti, with the stamped plans listed as follows:

Title	Sheet #	Plan Date	Revision
Overall Siteplan	1 of 2	01/29/2026	02/24/2026
Septic Details	2 of 2	01/29/2026	

2.2. Construction of wastewater systems or potable water supplies, or buildings or structures (as defined by the Wastewater System and Potable Water Supply Rules), or campgrounds, not depicted on the stamped plans, or identified in this permit, is not allowed without prior approval by the Drinking Water and Groundwater Protection Division.

2.3. No buildings, roads, water pipes, sewer services, earthwork, re-grading, excavation, or other construction that might interfere with the operation of a wastewater system or a potable water supply are allowed on or near the site-specific wastewater system, wastewater replacement area, or potable water supply depicted on the stamped plans. Adherence to all isolation distances that are set forth in the Wastewater System and Potable Water Supply Rules are required.

3. INSPECTIONS

3.1. No permit issued by the Secretary shall be valid for a substantially completed living unit, potable water supply and wastewater system until the Secretary receives a signed and dated certification from a qualified Vermont Licensed Designer (or where allowed, the installer) on a Secretary-approved form that states:

"I hereby certify that, in the exercise of my reasonable professional judgment, the installation-related information submitted is true and correct and the potable water supply and wastewater system were installed in accordance with the permitted design and all permit conditions, were inspected, were properly tested, and have successfully met those performance tests."

or which satisfies the requirements of §1-311 of the referenced rules.

3.2. Prior to the use of the potable water supply, the permittee shall test the water for Arsenic, Escherichia coli (E. coli), Fluoride, Lead, Manganese, Nitrate as N, Nitrite as N, Total Coliform Bacteria, Uranium, Adjusted Gross Alpha Particle Activity, Chloride, Sodium, Iron, and pH. The Lead sample shall be a first-draw. All water quality tests shall be conducted at a laboratory certified by the Vermont Department of Health (a list of which can be found on the VDH website). Results of the water tests shall be submitted to the Vermont Department of Health prior to use or within 60 days of the submission of the Installation Certification required in Condition 3.1, whichever comes first.

4. DESIGN FLOW

4.1. The following table provides the flows that the wastewater system and potable water supply are designed to accept based on existing and proposed lot and building uses. The design flows in gallons per day (gpd) in the following table are derived from section 1-803 of the Rules:

Lot	Building	Building Use / Design Flow Basis	Wastewater (gpd)	Water (gpd)
1	Proposed	Residential Living Unit with 3-bedrooms (based on 6-person occupancy)	420	420

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4.2. The table above reflects the designed capacity for wastewater systems and potable water supplies derived from the uses documented in the permit application. If additional capacities are needed, a permit amendment will be required for the total design flows.

5. WASTEWATER SYSTEM

5.1. Prior to construction or site work, a designer shall flag the proposed leachfield, and the owner shall maintain the flags until commencement of construction of the system.

5.2. Should the wastewater system fail and not qualify as a minor repair or for an exemption, the landowner shall engage a qualified Licensed Designer to evaluate the cause of the failure and submit an application to the Drinking Water and Groundwater Protection Division, and obtain approval thereof, prior to correcting the failure.

5.3. This permit does not relieve the permittee of the obligations of Title 10, Chapter 48, Subchapter 4, for the protection of groundwater.

6. POTABLE WATER SUPPLY

6.1. Prior to construction or site work, a designer shall flag the center of the proposed potable water source, and the owner shall maintain the flag until commencement of construction of the source.

6.2. Should the potable water supply fail and not qualify as a minor repair or for an exemption, the landowner shall engage a qualified Licensed Designer to evaluate the cause of the failure and submit an application to the Drinking Water and Groundwater Protection Division, and obtain approval thereof, prior to correcting the failure.

Julia S. Moore, Secretary
Agency of Natural Resources

By 

Dated March 6, 2026

Terry Shearer
Environmental Analyst VII
Springfield Regional Office
Drinking Water and Groundwater Protection Division

cc: Brian Rapanotti

MEETING MINUTES
TOWN OF WOODSTOCK, VERMONT
TOWN DEVELOPMENT REVIEW BOARD
31 The Green
Woodstock, VT 05091

The Town Development Review Board held a public meeting on February 24th, 2026, at 6:30PM to conduct the following business:

Members present: Wade Treadway (Chair), Alan Willard, and Ernie Fernandez.

Public present: Dale Rhodes, Nina Phalen, Joseph Haynes, Kareen Wilson, and Bryan Wilson.

Staff present: Molly Maxham.

Administrative Tasks:

Call to Order: Wade Treadway called the meeting to order at 6:31 PM.

Adjustments to Agenda: None

Public Hearings:

The Town Development Review Board received testimony on the following proposed developments.

A. T-0019-26: Dale Rhodes

Location: 5851 South Road

Parcel ID: 12.03.09

Review Type: Conditional Use

Proposal: Short-Term Rental

Dale Rhodes presented an application to use the location, 5851 South Road, as a short-term rental. All required materials were present for this application. Wade Treadway questioned the parking situation and traffic in this specific area. Dale Rhodes explained that recent developments have made parking accessible on this property. There will be parking available for four vehicles. Dale Rhodes explained that there is a Certificate of Occupancy for this property.

Wade Treadway reviews the Conditional Use criteria and Dale Rhodes explains that there is no impact. The board presented no further questions.

Motion to close testimony made by Alan Willard, seconded by Wade Treadway.

Approved 3-0.

Motion to approve the application made by Alan Willard, seconded by Wade Treadway.

Approved 3-0.

B. T-0042-26: Kareen & Bryan Wilson

Location: 148 East Hill Road Unit C

Parcel ID: 12.03.35.00C

Review Type: Conditional Use

Proposal: Short-Term Rental

Kareen Wilson and Bryan Wilson presented an application to use the location, 148 East Hill Road Unit C, as a short-term rental. Kareen Wilson stated that this rental unit would allow for six guests. Wade Treadway had questions about parking and Bryan Wilson explained that there will be 2 parking spaces for this location, possibly more.

Wade Treadway reviewed the Conditional Use criteria; Kareen Wilson and Bryan Wilson stated that there are no impacts present. The board presented no further questions.

Motion to close testimony made by Alan Willard, seconded by Wade Treadway.

Approved 3-0.

Motion to approve the application made by Alan Willard, seconded by Wade Treadway.

Approved 3-0.

C. T-0043-26: M. Joseph Haynes

Location: 5250 West Woodstock Road

Parcel ID: 06.01.09

Review Type: Conditional Use

Proposal: Short-Term Rental

Joseph Haynes presented an application to use the location, 5250 West Woodstock Road, as a short-term rental. Joe Haynes explained that there would be no exterior

changes to the property because of the proposed development. Wade Treadway reviewed the Conditional Use Criteria and Joseph Haynes stated that there is no impact. The board had no further questions.

Motion to close testimony made by Alan Willard, seconded by Wade Treadway.

Approved 3-0.

Motion to approve the application made by Alan Willard, seconded by Wade Treadway.

Approved 3-0.

Approval of Minutes

The board reviewed minutes from the 2/9/2026 TDRB meeting.

Motion to approve the 2/9/2026 minutes made by Wade Treadway, seconded by Alan Willard.

Approved 3-0.

Deliberations

The board entered closed deliberations.

Other Business: None

Adjournment

The meeting adjourned at 7:04 PM.