

PUBLIC MEETING AGENDA
MUNICIPALITY OF WOODSTOCK, VERMONT
WOODSTOCK CONSERVATION COMMISSION
31 The Green
Woodstock, VT 05091

The Conservation Commission will meet at **6:30 PM** on **Wednesday, May 20th, 2026.**

The Meeting will be held via Zoom [CLICK HERE TO JOIN.](#)
The login information is at the bottom of this agenda.

1. Call to Order: 6:30 PM
2. Public Hearing:
 - A. **T-0059-26 – Jonathan Bracken**
Location: 1176 Fletcher Hill Road
Parcel ID: 07.03.16
Review Type: Conditional Use
Proposed Development: To construct an addition of approximately 2,556 SF, and renovate existing house.
 - B. **T-0060-26 – Robert M. Driscoll**
Location: 4109 South Road
Parcel ID: 33.01.11
Review Type: Conditional Use
Proposed Development: To construct a 670 SF addition on the first floor of the existing home.
3. Other Business:
4. Approval of Minutes: 9/17/2025, 11/24/2025, & 3/18/2026
5. Adjournment

To join the Conservation Commission Meeting via Zoom, [CLICK HERE](#) then enter the following:

Meeting ID: 886 4885 1165
Passcode: 345452

Woodstock Planning & Zoning Application

All applicants must be the owner, the owner's attorney, or authorized agent of property described herein. A person holding a binding agreement to purchase property may sign application by providing written proof of such agreement. If an agent or attorney will represent or speak on owner's behalf, owner must complete the agent portion of this application.

Applicant: Jonathan Bracken Phone: 617-794-4380 Email: JonathanABracken@gmail.com

Address: 1176 Fletcher Hill Rd. City/Town: Woodstock State: VT Zip Code: 05091

Co-Applicant: _____ Phone: _____ Email: _____

Address: _____ City/Town: _____ State: _____ Zip Code: _____

Signature(s): 

*What is the best way to contact you? Phone or Email Email

*What address would you like your Notice of Hearing/Permit mailed to? 921 South Street, Needham, MA 02492

Agent Authorization

(a representative speaking on behalf of the owner/applicant)

I, _____ owner of property located at _____ Woodstock, Vermont, hereby designate as my agent.

Name of Agent: _____ Phone: _____ Email: _____

Address: _____ City/Town: _____ State: _____ Zip Code: _____

Agent may be accepted as though made by me personally, and I understand that I may be bound by an official decision made based upon such representation

Signature: 

Parcel ID Number(s): 07.03.16 Address: 1176 Fletcher Hill Rd Zoning District: _____ Overlay District: _____

Proposal of project: _____

Renovation of existing house including extension. House will remain at 5 bedrooms.

----- Planning & Zoning Office Only -----

Village Design Review Hearing Date: _____ Village Development Review Hearing Date: _____

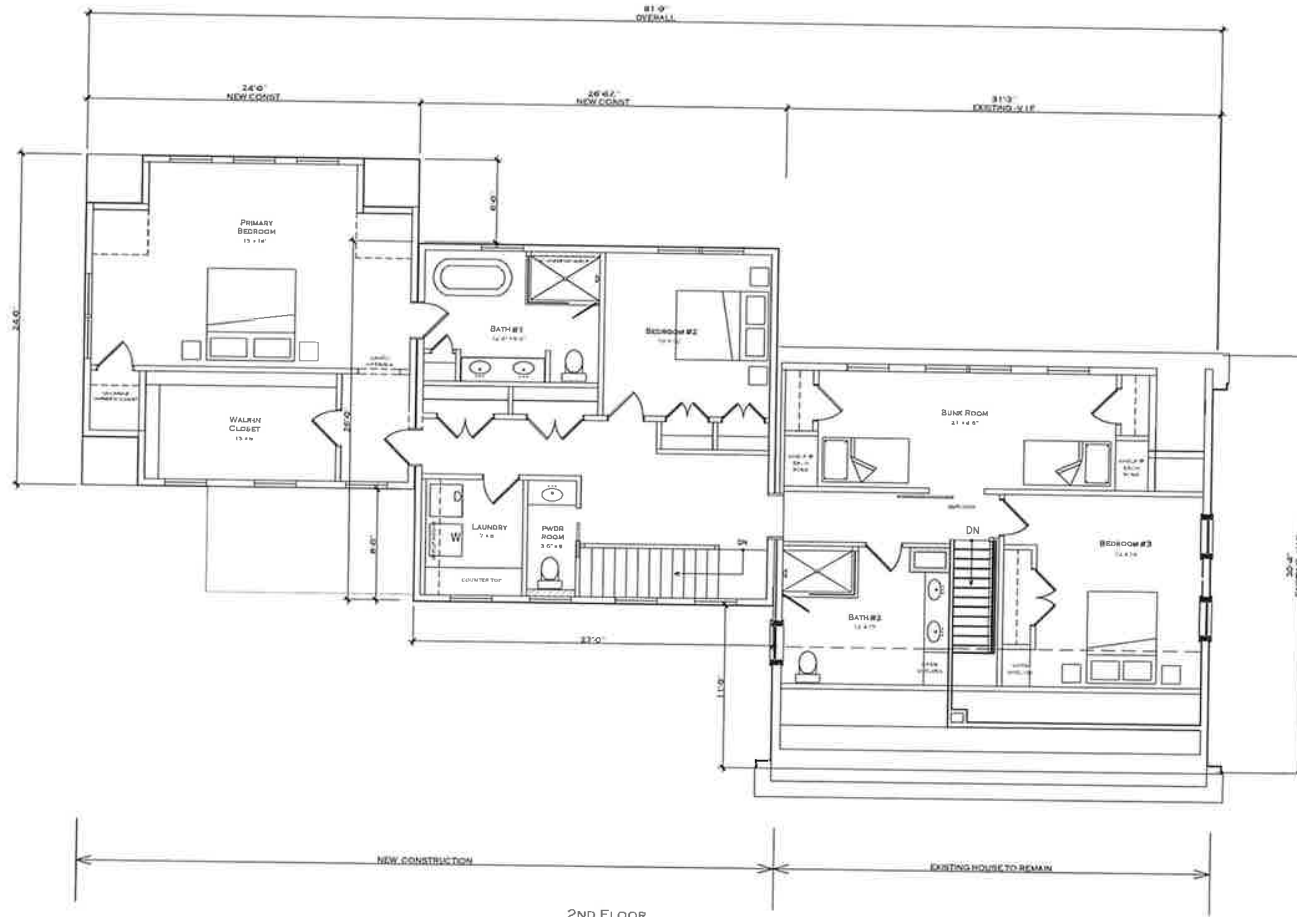
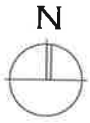
Town Development Review Hearing Date: _____ South Woodstock Review Hearing Date: _____

Planning Commission Hearing Date: _____ Conservation Commission Hearing Date: _____ Administrative: _____

Date Recvd: _____ Date Complete: _____ By: _____ Application #: _____

Review Fee: _____ Itemized Fee: _____ Recording Fee: _____ Total Fee: _____

Paid: cash _____ check _____ MuniPay: _____ Payment Date: _____



2ND FLOOR
1/4" = 1'-0"

BRACKEN RESIDENCE
Woodstock, VT
10 APRIL 2026



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



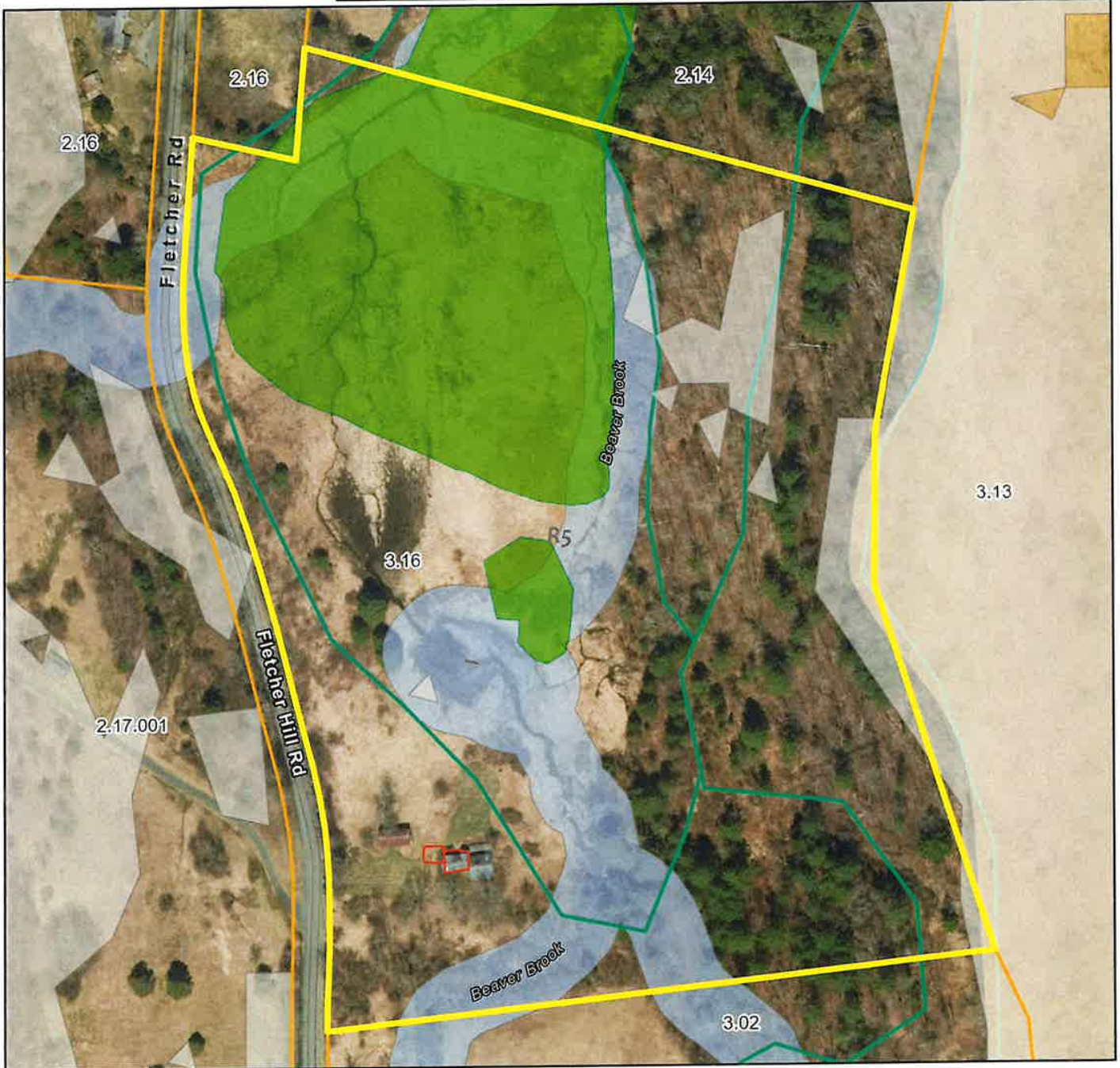
Town of Woodstock, VT

1 inch = 200 Feet



www.cai-tech.com

April 14, 2026



	Property Line		Wetlands (2004 Arrowood Environmental Report)
	Public Road		VT Significant Wetlands Inventory
	Slope > 25%		50 Foot Surface Water Buffer
	Soil -=10- and Slope >= 15%		Town Zoning

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Woodstock Planning & Zoning Application

All applicants must be the owner, the owner's attorney, or authorized agent of property described herein. A person holding a binding agreement to purchase property may sign application by providing written proof of such agreement. If an agent or attorney will represent or speak on owner's behalf, owner must complete the agent portion of this application.

Applicant: Robert M. Driscoll Phone: 701-820-2886 Email: rmdriscoll@gmail.com
Address: 4109 South Road City/Town: Woodstock State: VT Zip Code: 05091
Co-Applicant: Christen S. Driscoll Phone: 781-820-8271 Email: csdriscoll@mc.com
Address: 4109 South Rd City/Town: So. Woodstock State: VT Zip Code: 05091
Signature(s): [Signature] [Signature]
*What is the best way to contact you? Phone or Email 781 820 2886 rmdriscoll@gmail.com
*What address would you like your Notice of Hearing/Permit mailed to? 515 CJC HWY
Cohasset, Ma 02025

Agent Authorization

(a representative speaking on behalf of the owner/applicant)

I, _____ owner of property located at _____ Woodstock, Vermont, hereby designate as my agent.

Name of Agent: _____ Phone: _____ Email: _____

Address: _____ City/Town: _____ State: _____ Zip Code: _____

Agent may be accepted as though made by me personally, and I understand that I may be bound by an official decision made based upon such representation

Signature: _____

Parcel ID Number(s): 33.01.11 Address: 4109 South Road Zoning District: R5 Overlay District: _____

Proposal of project: First Floor addition approximately 670 square feet per plans.

----- Planning & Zoning Office Only -----

Village Design Review Hearing Date: _____ Village Development Review Hearing Date: _____

Town Development Review Hearing Date: _____ South Woodstock Review Hearing Date: _____

Planning Commission Hearing Date: _____ Conservation Commission Hearing Date: _____ Administrative: _____

Date Recvd: _____ Date Complete: _____ By: _____ Application #: _____

Review Fee: _____ Itemized Fee: _____ Recording Fee: _____ Total Fee: _____

Paid: cash _____ check _____ MuniPay: _____ Payment Date: _____

DRISCOLL - CABIN RENOVATION

4109 SOUTH ROAD, WOODSTOCK, VERMONT

DESIGN DEVELOPMENT

MARCH 17, 2026

TIRYAKI ARCHITECTURAL DESIGN, LLC

P.O. Box 423, Cohasset, MA 02025
 T.781.383.0081
 www.tiryakiarch.com

<u>DRAWING LIST</u>	
<u>ARCHITECTURAL DRAWINGS</u>	
A0.0	COVER, DRAWING LIST, WINDOW & DOOR SCHEDULE
A0.1	SPECIFICATIONS AND GENERAL NOTES
AE1.1	EXISTING FIRST FLOOR PLAN
A1.1	PROPOSED FIRST FLOOR PLAN
A1.2	PROPOSED SECOND FLOOR / ROOF PLAN
A2.1	PROPOSED EXTERIOR ELEVATIONS
A2.2	PROPOSED EXTERIOR ELEVATIONS

DRISCOLL - CABIN
 4109 SOUTH ROAD, WOODSTOCK, VT

WINDOW SCHEDULE						
ID#	LOCATION	DESCRIPTION	UNIT DIMS. - W x H	HEAD HEIGHT	LIGHT PATTERN	NOTES
1	Primary Bedroom	Double Hung	3'-0"W x 5'-0"H	6'-8" AFF	8 / 8	
2	Primary Bath	Double Hung	3'-0"W x 4'-0"H	6'-8" AFF	8 / 8	
3	Walk-in Closets	Awning	3'-0"W x 1'-8"H	6'-8" AFF	N/A	
4	Primary Bath	Casement	1'-6"W x 2'-0"H	6'-8" AFF	N/A	
5	Primary Bedroom	Picture - Casement	2'-6"W x 3'-0"H	10'-0" AFF (VIF*)	N/A	
6	Primary Bedroom	Picture - Custom Trapezoid	2'-8"W x SEE NOTES	10'-0" AFF (VIF*)	N/A	Window Ht: 3'-0" (match Type #5); Short Leg Ht: 0'-10" +/-; SLOPE TO MATCH CEILING SLOPE. GC to verify in field.
R	Primary Suite & Closet	Existing Double Hung	V.I.F.	6'-8" AFF	V.I.F.	EXISTING WINDOW TO BE RELOCATED. ALL SIZES TO BE VERIFIED IN FIELD.
EX	VARIES	VARIES	VARIES	VARIES	VARIES	EXISTING WINDOW / DOOR TO REMAIN, UNLESS OTHERWISE INDICATED BY OWNER.

DOOR SCHEDULE (EXTERIOR DOORS ONLY)				
ID#	LOCATION	DESCRIPTION	UNIT DIMS. - W x H	NOTES
A	Front Entry	Gliding Patio Door	5'-0"W x 6'-8"H	Full glass patio gliding door to match selected window series.
B	Primary Bedroom	Gliding Patio Door	12'-0"W x 6'-8"H	Full glass patio gliding door to match selected window series.
C	Primary Bedroom	Transom window	12'-0"W x 1'-10"H	Transom window to correspond with patio door below
EX	VARIES	VARIES	VARIES	EXISTING DOOR TO REMAIN, UNLESS OTHERWISE INDICATED BY OWNER.

SPECIFICATIONS AND NOTES

GENERAL

- A. All work is to conform to the requirements of the current edition of the Massachusetts State Building Code for One and Two Family Dwellings and requirements of Mechanical, Electrical, Plumbing, and Fire Protection Codes where applicable. In addition, all work is to conform to the requirements of any applicable federal and local codes and laws.
- B. The General Contractor (GC) will obtain all necessary permits for the project and is responsible for notifying the regulatory agencies and for coordinating the appropriate inspections throughout the project.
- C. The GC is solely responsible for the coordination of all dimensions and conditions indicated, with actual dimensions and conditions as verified in the field.
- D. The GC is responsible for maintaining dimensions as indicated on the drawings, unless site conditions are such that modifications are required. In such cases, the GC shall notify the Architect and the Owner immediately for approval prior to proceeding.
- E. The GC shall notify the Architect and the Owner of any discrepancies and/or to request additional information or clarification.
- F. The GC shall bring all hidden or hazardous conditions to the Owner's attention immediately upon their discovery.
- G. The GC shall provide temporary protection as required in order to maintain the site throughout construction.
- H. The GC shall not substitute alternate materials unless identified and approved by the Owner and/or the Architect.
- I. The GC shall furnish product data and samples (woodwork, wall coverings, paint, interior finishes, etc.) for the Owner's and the Architect's approval prior to purchasing and installation.
- J. The GC will provide shop drawings for all cabinetry and millwork as required by the project prior to fabrication and/or installation.
- K. The GC will coordinate with the Owner for the stocking, reinstallation, and preservation of materials.
- L. The GC shall protect all finished surfaces against damage until the project is turned over to the Owner.
- M. The GC will clean and vacuum the site at completion of construction, including all windows, roofing, etc. At the completion of the project, the GC will remove all paint and varnish spots, as well as all oil, grease, and stains caused by this work from floors, walls, glass, fixtures, hardware, equipment, and other surfaces.

SITE AND LANDSCAPE WORK

- A. Refer to the site drawings and specifications provided by the Civil Engineer for all site related information, including building placement and grading.
- B. Refer to the Structural Engineer's drawings and specifications for all information related to the soil, backfill, and foundation requirements.
- C. Coordinate locations, modifications, and installations of new water, sewer, gas, and electrical services into the new building.
- D. Coordinate all demolition requirements with the Owner.
- E. Coordinate all new landscape requirements with the Owner.

CONCRETE

- A. Refer to the Structural Engineer's drawings and specifications for all information related to structural concrete, including slabs, foundation walls, and connections/bolts.
- B. Sill Sealer - Set all sills on closed cell synthetic sill sealer.
- C. Vapor Barrier - Provide 6 mil polyethylene vapor barrier under all slabs on grade at habitable areas, including basements and garages, with edges overlapped by a min. of 6".
- D. Finishing - All exposed surfaces of concrete foundation walls shall be rubbed smooth of imperfections and filled of honeycombs prior to back filling and immediately after removal of the forms.
- E. Exterior monolithic concrete slabs, pads, walks, etc., and similar areas shall receive non-slip light broom finish.

STRUCTURAL AND MISC. STEEL

- A. Refer to the Structural Engineer's drawings and specifications for all information related to structural and misc. steel.

ROUGH CARPENTRY

- A. Refer to the Structural Engineer's drawings and specifications for all information related to rough framing lumber.
- B. Roof and Wall Sheathing - CDX plywood, 1/2" minimum on walls and 5/8" min. on roofs.
- C. Sub-floor - Tongue and groove plywood, APA stud-floor or equal, nailed and glued to floor framing. Typical thickness shall be 3/4" with an additional layer of 1/2" underlayment at all areas with carpet and tile.
- D. Pressure Treated Lumber - All rough lumber exposed to weather or in contact with concrete such as foundation sills, sole plates, etc., shall be pressure treated in accordance with latest environmental standards and as recommended for the particular exposure category.
- E. Strapping - All ceilings to receive 1x3 spruce wood strapping at 16" o.c. shimmed to level.
- F. Provide solid wood fire stopping in walls, ceilings, and floors in accordance with Massachusetts State Building Code.
- G. All sheathing shall be laid with staggered end joints and shall be nailed at every bearing.
- H. The weather barrier behind the siding shall be Commercial Tyvek air barrier or equal as approved by the Owner and the Architect.
- I. Provide solid wood blocking to facilitate nailing and securing of interior millwork, cabinets, trim, and misc. items.
- J. Provide cross-bridging at floor joists as prescribed by the Structural Engineer.

FINISH CARPENTRY - INTERIOR

- A. Window and Door Casings and Agron Trim - Interior wood trim, including sills and jamb extensions at windows shall be clear pine or poplar.
- B. Baseboards - Finish and install new clear pine or poplar baseboards in all interior conditioned spaces. Coordinate final selection with Owner.
- C. Shelving and Closet Pole (Typical all closets) - Closet shelving to be min. 12" wide birch veneer plywood with hardwood edge banding. Closet pole to be 1-1/2" diameter fir with metal support brackets at every 4'-0".
- D. Shelving in Linen Closets - Provide adjustable shelves in each linen closet.
- E. Nails (interior) - All interior wood trim nails shall be puttyed by the GC to accommodate finish paint.
- F. Sanding of Finish Trim - All interior wood trim shall be sanded smooth, free of imperfections by the GC suitable for finish paint.
- G. All interior millwork lumber to have a 12% max. moisture content.
- H. Countertops - Countertops in kitchen and bathrooms shall be selected by the Owner.
- I. Millwork - Millwork, cabinets, and shelving shall be constructed in the configuration shown on the drawings. Wood species, finish, and style to be selected by the Owner.
- J. Millwork and cabinetry to be installed straight, level, and plumb with tight joints. All finish nails to be puttyed for finish paint application.
- K. Trim pieces to be installed as long as possible. Make joints only over solid supports and to conceal shrinkage.
- L. All wood trim shall be primed and backprimed prior to installation. Joint shall be coped; end to end joints shall be mitered and scarfed.
- M. All wood trim shall be sanded smooth ready for final finish.

FINISH CARPENTRY - EXTERIOR

- A. Siding - Pre-finished cedar siding. End cuts shall be sealed.
- B. Flashing - Provide aluminum flashing over all windows, doors, lower openings, and where exterior walls meet decks.
- C. Nails (exterior) - Clapboards, siding, and trim boards shall be secured with stainless steel nails. Finish nails on trim shall be set and puttyed prior to painting work.
- D. Trim - All exterior trim, including posts, railings, balusters, fascias, and rake trim, soffits, window and decorative moldings shall be cellular PVC (Azek, Kleer, or equal).
- E. Soft/Eave Vents - Provide continuous soffit/eave vents at all roofs.

THERMAL AND MOISTURE PROTECTION

- A. Roofing - Provide standing seam metal roofing. Color and style to be selected by the Owner.
- B. Underlayment - As directed by roofing manufacturer over all roof sheathing prior to installation of roofing.
- C. Ridge Vents - Provide a continuous ridge vent system at all roofs.
- D. Ice & Water Shield - Provide W.R. Grace "Ice and Water Shield" membrane underlayment at all eaves, valleys, and hips. At eaves, extend membrane a min. of 36" from the inside face of the exterior insulated wall. Extend 18" min. on each side of the hips and valleys. Windows and doors to have continuous self-adhered membrane flashing all around, typical.
- E. Gutters and Downspouts - Provide pre-finished aluminum gutters and downspouts where identified on the drawings or as directed. Color and style shall be selected by Owner.
- F. Caulking and Sealant - Caulk dissimilar materials at joints with caulk material suitable for each application. Caulk shall be min. twenty year silicone or acrylic as manufactured by Tremco or equal.
- G. Insulation - Comply with Massachusetts Building Code for One and Two Family Dwellings. If required, the GC is responsible for calculating the Massachusetts Energy Code Application. Provide a continuous layer of fiberglass batt insulation (Owens Corning or equal) with vapor barrier on the warm side with the following min. R values: R25 at the walls, R30 at floors and sprayfoam insulation (Icyene or equal) w/ R60 at ceilings and roof.

WINDOWS AND DOORS

- A. Interior Doors - Interior doors and associated door hardware shall be selected by the Owner as sized on the drawings.
- B. Exterior Doors - Refer to the exterior door schedule on the elevation drawings. Final selection to be made by the Owner.
- C. Windows - Refer to the window schedule and the exterior elevation drawings. Final selections to be made by the Owner. The GC shall ensure that all egress requirements are met for each bedroom and occupied basement space based on the Building Code. Units shall have low-E coated insulating glass. Provide all accessories and integrated handles necessary for a complete installation. All window units shall come equipped with retractable screens and manufacturer's standard hardware. Final color selection to be made by the Owner.

FINISHES

- A. Gypsum Drywall - All products shall be as manufactured by USG or approved equal. Gypsum wallboard shall be 1/2" thick. Provide Durock (cement board) underlayment at areas to receive wall tile finish. Provide fire-rated wallboard for separation of the garage from other living spaces. Provide moisture resistant wallboard at all bathrooms.
- B. Hardwood Flooring - Flooring to be solid red oak, 3/4" thick T&G plank over resin paper, or to match existing if desired by Owner, unless noted otherwise. Finish shall be three coats Industrial strength, scratch resistant, water-based polyurethane. Confirm all final flooring selections with the Owner.
- C. Carpet and Pad - Confirm carpeted (if any) areas with the Owner and carry an allowance as required.
- D. Tile - Finish and install ceramic or other approved tile including special shapes for cove base, corner pieces, bullnose and other integral shapes in the bathroom, kitchen, mudroom or similar areas as directed by the Owner. Provide Durock (cement board) underlayment and latex thin set mortar for the tile application. Use latex hydraulic sanded grout. All colors to be selected and approved by the Owner.
- E. Painting - Manufacturer shall be Benjamin Moore or approved equal. Paint or stain quality shall be the highest grade made by the manufacturer. All interior and exterior wall and trim surfaces shall be acrylic latex or semi-solid stain as directed by the Owner. No paint or stain work should be done in dusty conditions or wet weather. All trim shall be backprimed prior to installation. Typical paint application shall consist of one prime coat and two finish coats. Submit color chips and field samples to the Owner as required.

ELECTRICAL

- A. Provide all electrical work in compliance with applicable codes and regulations, for a complete and proper installation.
- B. The Electrical Contractor shall modify the service to suit requirements in accordance with applicable regulations.
- C. Branch wiring and circuitry shall be laid out by the Electrical Contractor in accordance with electrical code.
- D. Switches and Outlets - Device and color plate colors shall be selected by the Owner. Provide GFI outlets as required by the electrical code.
- E. Install required hard-wired smoke detectors, carbon monoxide detectors, and heat detectors (garage) as required by the Building Code, Electrical Code, Fire Protection Code, and the local Fire Department requirements.
- F. Provide wiring and circuitry of the appropriate size and rating to all equipment and appliances to be furnished by the Owner.
- G. All telephone jacks, cable outlets, and wiring to be installed as required.
- H. Light Fixtures - Light fixtures shall be selected by the Owner and installed by the Contractor. The contractor is responsible to ensure that the fixtures are properly rated and suitable for their intended installation.

MECHANICAL

- A. Design a new cooling and heating system compliant with applicable codes and regulations, in consultation with the Owner.
- B. The Contractor shall be responsible for the system's design and operation and they shall obtain mechanical engineering assistance for the design if necessary.
- C. All ductwork and hot water piping shall be insulated and where necessary, a vapor barrier for the ductwork should be provided to prevent condensation.
- D. Submit complete design calculations, product literature, and shop drawings depicting the distribution system for approval by the Owner.

PLUMBING

- A. The plumbing contractor shall provide all design, labor, and materials for furnishing and installing all plumbing equipment, fixtures, fittings, supply and drain lines, vent stacks for the new system.
- B. All sanitary lines within walls and floors adjoining living spaces are to be sound insulated.
- C. All plumbing within wall and floor cavities which border unconditioned spaces are to be insulated and be located on the warm side if cavity insulation to avoid freezing.
- D. Shutoff Valves - Provide at all hot & cold water branch supply lines serving plumbing fixtures, in easily accessible locations.
- E. Fixtures - Fixtures and accessories to be selected by the Owner.



DRISCOLL
CABIN RENOVATION
4109 SOUTH ROAD
WOODSTOCK, VT

DESIGN
DEVELOPMENT

DATE ISSUED: MARCH 17, 2026

GENERAL DRAWING NOTES

1. DO NOT SCALE DRAWINGS. DIMENSIONS TAKEN TO FINISH FACE OF EXTERIOR WALL AND CENTRELINE OF INTERIOR PARTITIONS, WINDOWS AND DOORS UNLESS NOTED.
2. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL DIMENSIONS, CHECKING CONDITIONS AND ADJUST AS NECESSARY.
3. ALL BUILDING FINISHES AND OTHER INTERIOR DETAILS TO BE VERIFIED WITH THE OWNER. INTERIOR TRIM AND FINISHES TO BE PROVIDED BY SELECTED LOCATIONS. REVIEW WITH OWNER PRIOR TO CONSTRUCTION.

SCALE:

N/A

DRAWING NAME:
SPECIFICATIONS
AND NOTES

DRAWING NUMBER:

A0.1



TIRYAKI
ARCHITECTURAL
DESIGN

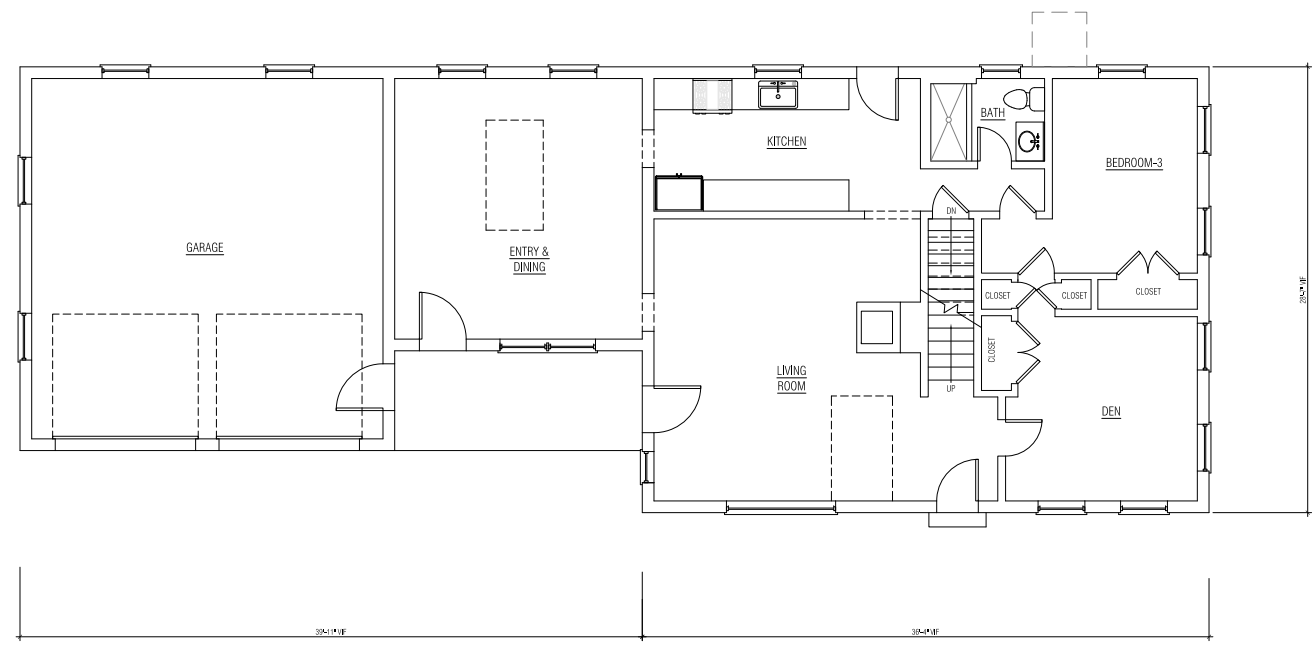
PO Box 423
CORRAIS, MA 02025
728.335.0087
www.tiryaki.com

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CABIN RENOVATION
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WOODSTOCK, VT

**DESIGN
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2. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL DIMENSIONS, INCLUDING CONCRETE AND JOISTS IN PLACE.
3. ALL FLOOR FINISHES AND OTHER INTERIOR DETAILS TO BE VERIFIED WITH THE OWNER. INTERIOR TRIM AND FINISHES TO BE PROVIDED BY SELECTED LOCATIONS. REVIEW WITH OWNER PRIOR TO CONSTRUCTION.



SCALE:
1/4" = 1'-0"
0 5 10

DRAWING NAME:
**EXISTING FIRST
FLOOR PLAN**

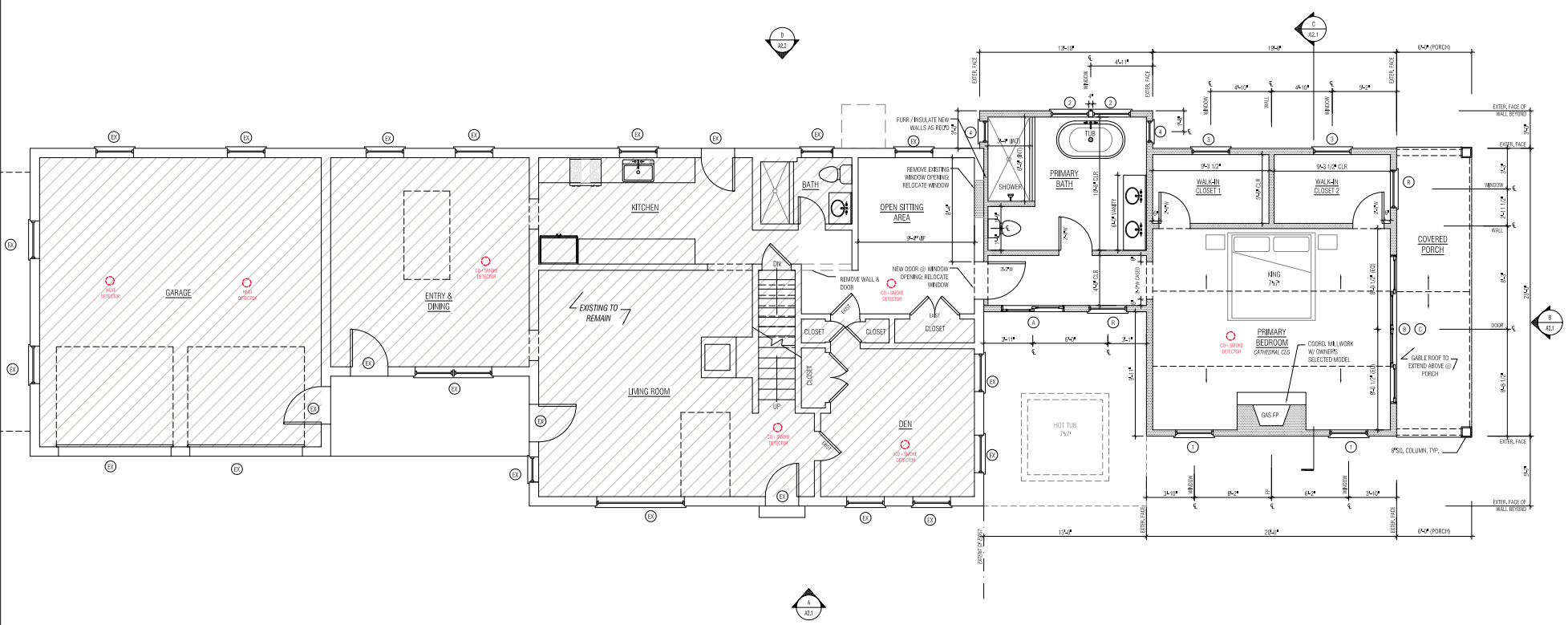
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AE1.1

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2. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL DIMENSIONS, EXISTING CONDITIONS AND ADJUST, AS NEEDED.
3. ALL BUILDING FINISHES AND OTHER INTERIOR DETAILS TO BE VERIFIED WITH THE OWNER. INTERIOR FINISHES FINISHES TO BE PROVIDED BY SELECTED LOCATIONS. REVIEW WITH OWNER PRIOR TO CONSTRUCTION.

KEY:

- NEW WALL CONSTRUCTION
- EXISTING WALL TO REMAIN
- NEW WINDOW OR DOOR
- EXISTING WINDOW TO BE RELOCATED
- EXISTING WINDOW TO REMAIN
- NEW INTERIOR DOOR
- EXISTING DOOR



SCALE:
1/4" = 1'-0"

DRAWING NAME:
**PROPOSED FIRST
FLOOR PLAN**

DRAWING NUMBER:

A1.1



**TIRYAKI
ARCHITECTURAL
DESIGN**

PO Box 403
CONANT, MA 01025
728-2352087
www.tiryaki.com

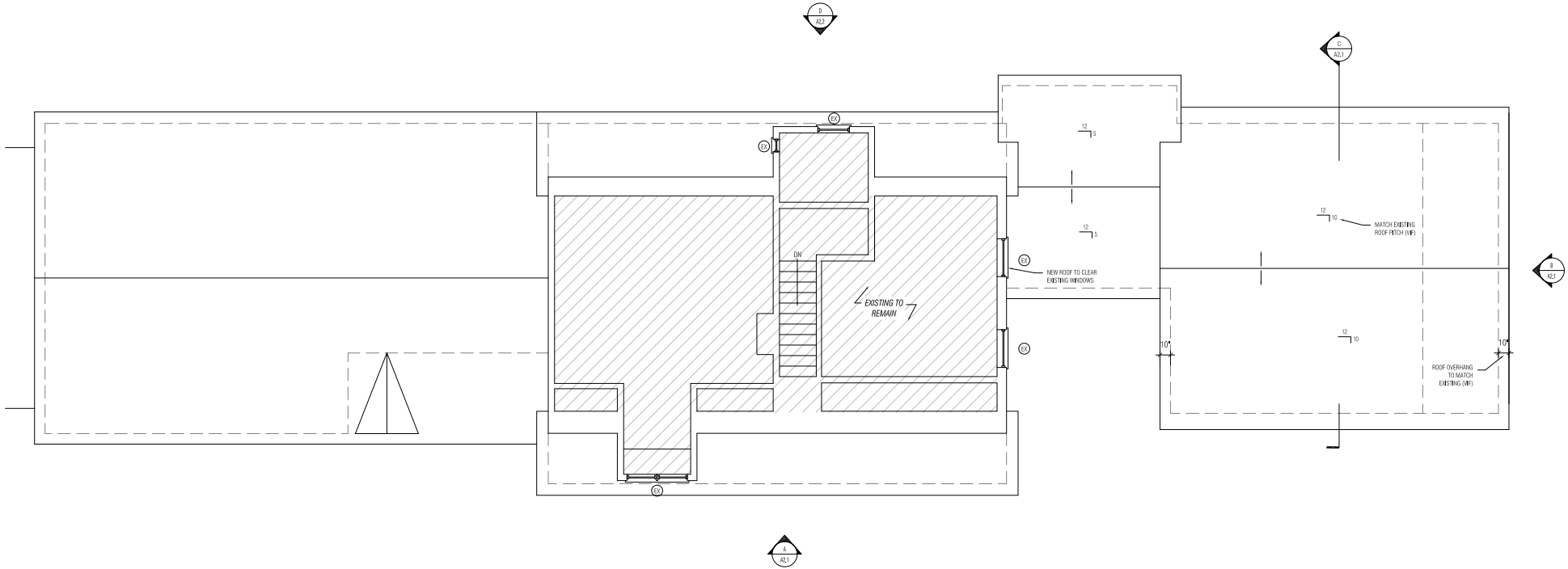
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2. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL FIELD VERIFY AND CORROBORATE ALL DIMENSIONS, CHECKING OVERLAYS AND OFFSETS, ETC.
3. ALL FLOOR FINISHES AND OTHER INTERIOR DETAILS TO BE VERIFIED WITH THE OWNER. INTERIOR TRIM AND FINISHES TO BE PROVIDED BY SELECTED LOCATIONS. REVIEW WITH OWNER PRIOR TO CONSTRUCTION.



SCALE:
1/4" = 1'-0"

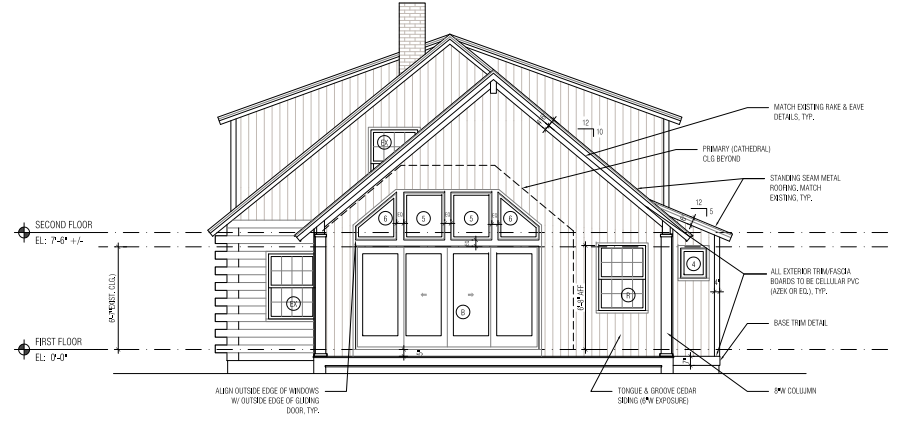
DRAWING NAME:

**PROPOSED SECOND
FLOOR / ROOF PLAN**

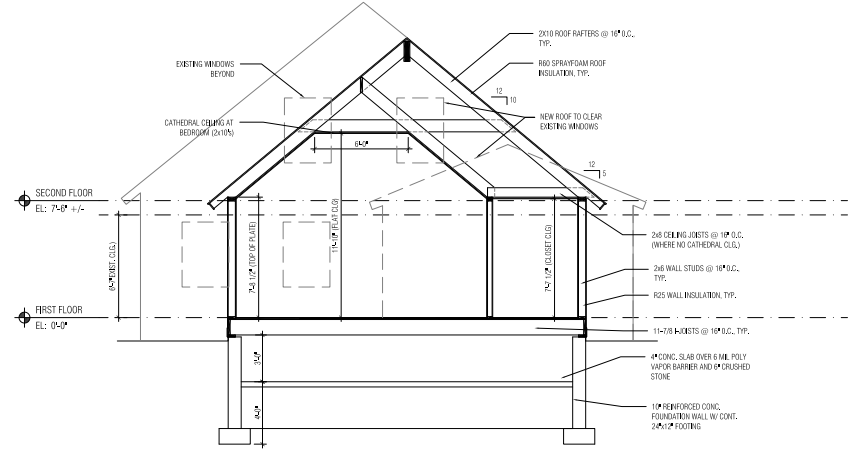
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A1.2

- GENERAL DRAWING NOTES
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 2. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL DIMENSIONS, EXISTING CONDITIONS AND UTILITIES IN PLACE.
 3. ALL BUILDING FINISHES AND OTHER INTERIOR DETAILS TO BE VERIFIED WITH THE OWNER. INTERIOR FINISHES TO BE PROVIDED IN SELECTED LOCATIONS. REVIEW WITH OWNER PRIOR TO CONSTRUCTION.



B PROPOSED SOUTHWEST (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



C PROPOSED SECTION @ PRIMARY SUITE
SCALE: 1/4" = 1'-0"



A PROPOSED NORTHWEST (FRONT) ELEVATION - PARTIAL
SCALE: 1/4" = 1'-0"

SCALE:
1/4" = 1'-0"
0 5 10

DRAWING NAME:
EXTERIOR
ELEVATIONS

DRAWING NUMBER:

A2.1



TIRYAKI
ARCHITECTURAL
DESIGN

PO Box 422
Concord, MA 03305
1-203-253-2281
www.tiryaki.com

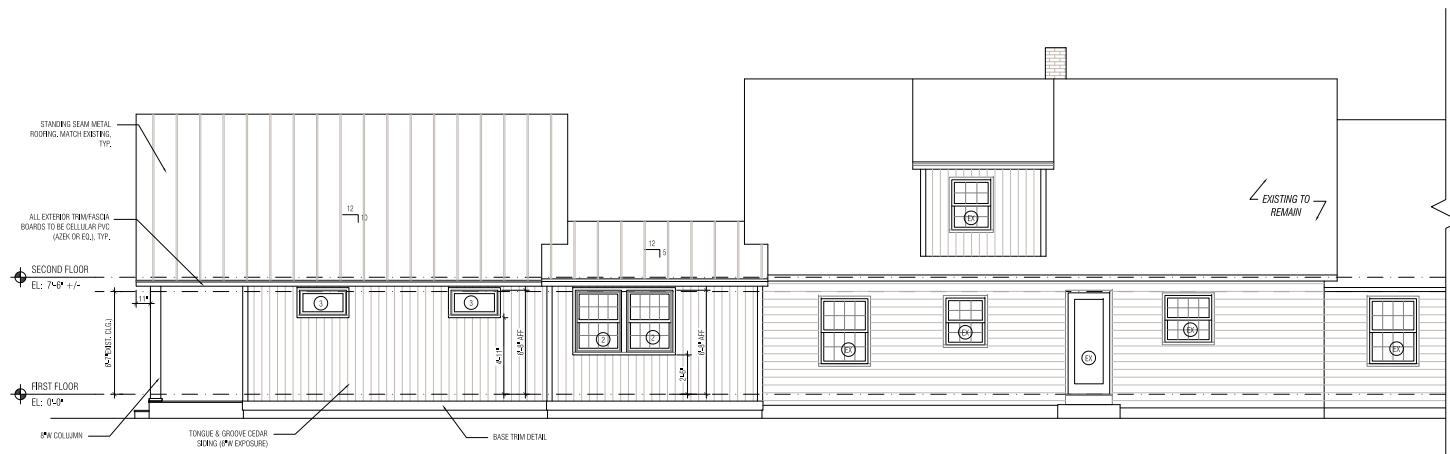
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DEVELOPMENT**

DATE ISSUED: MARCH 17, 2025

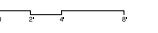
GENERAL DRAWING NOTES

1. DO NOT SCALE DRAWINGS. DIMENSIONS TAKEN TO FINISH FACE OF EXTERIOR WALL AND CENTERLINE OF INTERIOR PARTITIONS, WINDOWS AND DOORS UNLESS NOTED.
2. PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL DIMENSIONS, SETTING CONDITIONS AND LOCATIONS OF ETC.
3. ALL BUILDING FINISHES AND OTHER INTERIOR DETAILS TO BE VERIFIED WITH THE OWNER. INTERIOR TRIM AND FINISHES TO BE PRESERVED IN SELECTED LOCATIONS, REVIEW WITH OWNER PRIOR TO CONSTRUCTION.



D PROPOSED SOUTHEAST (REAR) ELEVATION - PARTIAL
SCALE: 1/4" = 1'-0"

SCALE:
1/4" = 1'-0"



DRAWING NAME:
**EXTERIOR
ELEVATIONS**

DRAWING NUMBER:

A2.2

PUBLIC MEETING MINUTES
WOODSTOCK, VERMONT
CONSERVATION COMMISSION
31 The Green
Woodstock, VT 05091
(802) 457-7515

The Conservation Commission held a public meeting on September 17, 2025 at 6:30PM to conduct the following business:

Members present: Al Alessi (Chair), Justin Quinn, and Jenny Ahlen
Staff present: Emily Collins
Public present: N/A
Call to Order:

The meeting was called to order at 6:30 PM.

PUBLIC HEARINGS

A. T-0012-26 – Eric Stoen

Location: 327 Fletcher Schoolhouse Road

Parcel ID: 12.01.13

Proposed Development: To construct a 5' x 8' front porch on existing guest house.

Emily Collins presented the application for construction of a 5' x 8' front porch. The proposed construction site was noted to be in an area with a slope greater than 25%, as highlighted on the map. It was also noted that the site already has a driveway going up to the house and was already flat where the porch would be built. The commission reviewed the drawings and confirmed the porch would be a covered but not enclosed entry porch over the door, measuring 5' x 8'. There were no concerns.

Vote 3-0. Approved as submitted.

B. V-0016-26 – Joanne Boyle

Location: 7 Church Street

Parcel ID: 23.52.24

Proposed Development: Establish an afterschool childcare program and build a playground fence.

Emily Collins presented the application to establish an afterschool childcare program and build a playground fence. The Conservation Commission was reviewing the fence component as it overlapped with the floodplain. Emily Collins noted that the playground was already existing, and the fence was needed to meet state licensing requirements for

childcare. She showed the commission a diagram of the proposed fence, including the gate and panel design.

Justin Quinn expressed concerns that a fence built to contain children would likely collect debris during a flood and potentially redirect water flow to areas where it wouldn't naturally go. Al Alessi acknowledged the concerns but pointed out that the fence wouldn't span the entire property, so water could still flow around it. Jenny Ahlen suggested moving the fence entirely out of the floodplain or using material with wider openings. Emily Collins explained that the playground to be enclosed was preexisting and that the state licensing process had specific requirements for outdoor play areas and fencing.

The commission discussed potential modifications to the fence design to minimize flood impact. Board members suggested moving the fence slightly away from the floodplain and incorporating an angled or rounded design on the most impacted corner to reduce the potential for debris collection and encourage water redirection during flooding events.

Vote 3-0. Approved as submitted, recommending that the fence be moved further away from the river, if possible, and the corner facing the water current be rounded or angled to minimize flood impact.

APPROVAL OF CC MINUTES – 08/20/25

Vote 3-0. Approved.

Other Business:

Al Alessi formally stepped down as Chair of the Conservation Commission, while remaining on the commission as a member. There are plans to appoint Justin Quinn as the new Chair.

The commission discussed their concerns about the drought conditions affecting the area, especially that Barnard Brook was at dangerously low levels. It was suggested that the town investigate the current water levels, consumption rates, and capacity of the reservoir on Cox District Road and recommended that, if necessary, the town should consider implementing water restrictions similar to those used in other drought-prone areas, such as limiting lawn watering to specific times to reduce evaporation. The commission discussed whether there was any centralized tracking of private wells going dry during drought conditions.

The board discussed ways to give conservation concerns more weight in planning and decision-making processes.

Adjournment:

Meeting adjourned at 7:23pm.

PUBLIC MEETING MINUTES
WOODSTOCK, VERMONT
CONSERVATION COMMISSION
31 The Green
Woodstock, VT 05091
(802) 457-7515

The Conservation Commission held a public meeting on Monday, November 24, 2025, at 5:00PM to conduct the following business:

Members present: Justin Quinn (Chair), Al Alessi and Jenny Ahlen

Staff present: Emily Collins and Molly Maxham.

Public present: Mike Dunne and Cole Stever.

Call to Order:

The meeting was called to order at 5:00 PM.

PUBLIC HEARINGS

A. AD-T-0004-26 – Scott Schwartz & Ashley Losier

Location: 2115 East Woodstock Road

Parcel ID: 05.01.18

Review Type: Conditional Use

Proposed Development: To construct a 12'2" x 32'4" deck.

Emily Collins presented the application for construction of a 12'2" x 32'4" deck. Molly Maxham explained that this application was previously approved, but an amendment was added to change the size of the deck. Justin Quinn was concerned about impervious surfaces but confirmed that this deck would be well away from the floodplain. Molly Maxham that this deck would be on steep slopes which could be a cause for concern. Al Alessi suggested that the applicant be sure to control rain flow. Jenny Ahlen stated that the size increase of the deck is not significant and did not have any concerns.

Al Alessi motioned to approve this application as submitted.

Jenny Ahlen seconded this.

Approved 3-0

B. V-0027-26 – El-Kam Realty Co

Location: 47 Central Street

Parcel ID: 20.52.43

Review Type: Conditional Use & Design Review

Proposed Development: To replace stone entryway stairs using bluestone treads.

Emily Collins presented the application to replace stone entryway stairs using bluestone treads. Justin Quinn confirmed that the only aspect of the stairs that is being changed is the type of material being used. Emily Collins explained that this application is coming before the Conservation Commission because the stairs are located on the river. Justin Quinn was concerned about hard surfaces. Jenny Ahlen and Al Alessi had no further concerns.

Al Alessi motioned to approve this application as submitted.

Jenny Ahlen seconded this.

Approved 3-0

C. V-0028-26 – John and Mary Quinn

Location: 4 River Street

Parcel ID: 20.52.07

Review Type: Conditional Use & Design Review

Proposed Development: Addition of 14'x22' to the south of existing structure and 44" to the east of existing deck.

Mike Dunne presented the application of an addition of 14'x22' to the south of existing structure and 44" to the east of existing deck. Justin Quinn asked if there was significant drip edge put in to help with mitigating water runoff. Mike Dunne explained that there would be a drainage system, especially from the roadside. Jenny Ahlen questioned whether the addition would come from the existing structure and porch. Mike Dunne stated that the structure would mostly come from the front section of the house.

Justin Quinn expressed concern about there being enough room for people to pass through the area still. Mike Dunne stated that the addition would not encroach on the driveway or access road and would not impede access.

Jenny Ahlen inquired if the house had experienced flooding that happened in 2023 across Vermont. Michael Dunne was not exactly sure. Al Alessi questioned if there was any way for staff to find out if properties had experienced flooding events in the past. Molly Maxham explained that staff does not keep specific flooding records for each parcel.

Justin Quinn stated that the addition is well away from the river and that the structure should not cause any more issues in the event of a flood.

The board expressed no further concerns.

Al Alessi motioned to approve this application as submitted.

Jenny Ahlen seconded this.

Approved 3-0

D. V-0032-26 – Joe & Carole Kashner

Location: 11 College Hill Road

Parcel ID: 23.52.37

Review Type: Conditional Use

Proposed Development: To construct an 886 sq ft addition.

Cole Stevers presented the application to construction an 886 sq ft addition. Emily Collins explained that this property is on steep slopes. Justin Quinn questioned why the addition could not be added to the other side of the property where no steep slopes were present. Emily Collins explained that only a small portion of the addition would be on the steep slope.

Justin Quinn questioned whether there was a gap between the floor of the addition and the steep slope. Cole Stevers explained that there would be storage underneath the addition. Jenny Ahlen had no concerns. Al Alessi suggested that the maps with applications should have flow lines for more clarity and saw no issue with the application.

Al Alessi motioned to approve this application as submitted.

Jenny Ahlen seconded this.

Approved 3-0

APPROVAL OF CC MINUTES –

There were no minutes approved. The minutes from 09/17/2025 will be approved at the next meeting.

Other Business:

Adjournment:

Meeting adjourned at 5:27 PM.

PUBLIC MEETING MINUTES
WOODSTOCK, VERMONT
CONSERVATION COMMISSION
31 The Green
Woodstock, VT 05091
(802) 457-7515

The Conservation Commission held a public meeting on Wednesday, March 18, 2026, at 6:30PM to conduct the following business:

Members present: Justin Quinn (Chair), Al Alessi and Jenny Ahlen.

Staff present: Molly Maxham.

Public present: George Manter and Matthew Paul.

Call to Order:

The meeting was called to order at 6:33 PM.

PUBLIC HEARINGS

A. T-0048-26 – Matthew Paul

Location: 0 Carlton Hill Road

Parcel ID: 31.03.27

Review Type: Conditional Use

Proposed Development: To construct a 2,464 SF single family home, and a detached 480 SF garage/barn.

Matthew Paul presented an application to construct a 2,464 square foot single family home, and a detached 480 square foot garage/barn. The board expressed concerns about the driveway and the septic field being close to the wetland buffer. Justin Quinn further questioned if this could be mitigated with planting. Matthew Paul is currently working with a wetland specialist to mitigate any foreseeable issues and was open to hearing any feedback. Al Alessi questioned if Matthew Paul has seen the highest water level at this property. Jenny Ahlen questioned the driveway construction and what materials would be used; Matthew Paul did not have any plans to share as the construction is in its early phases.

The commission suggested that Matthew Paul consider the flooding implications of building on this property and had no further questions after this statement.

Al Alessi motioned to approve this application.

Jenny Ahlen seconded this.

Approved 3-0

APPROVAL OF CC MINUTES –

The minutes will be reviewed and approved at a future meeting.

Other Business:

The board spoke with a potential new Conservation Commission member, George W. Manter. The board also discussed their goals for the future of the Conservation Commission.

Adjournment:

Meeting adjourned at 7:35 PM.